

MAYOR & COUNCIL AGENDA COVER SHEET

MEETING DATE:

August 7, 2006

CALL TO PODIUM:

Jacqueline Marsh

RESPONSIBLE STAFF:

Jacqueline Marsh, Planner

AGENDA ITEM:

(please check one)

	Presentation
	Proclamation/Certificate
	Appointment
X	Public Hearing "JOINT"
	Historic District Commission
	Consent Item
	Ordinance
	Resolution
	Policy Discussion
	Work Session Discussion Item
	Other:

PUBLIC HEARING HISTORY:

(Please complete this section if agenda item is a public hearing)

Introduced	
Advertised	7-19-06
	7-26-06
Hearing Date	8-7-06
Record Held Open	
Policy Discussion	

TITLE: SDP-06-002

Amend the previously approved Schematic Development Plan, SDP-00-002, The Crescents at Quince Orchard Park office to a private educational institution for 14,517 square feet of the previously approved building. The remaining 8,383 square feet will be office. The subject property is located at 900 Wind River Lane.

SUPPORTING BACKGROUND:

Brian Donnelly of Macris, Hendrics, and Glasscock, on behalf of Jim Worley from the Goddard School, has submitted this proposal to amend Schematic Development Plan SDP-00-002, known as The Crescents at Quince Orchard Park. The applicant is requesting to change a portion of the approved use from office to private educational institution preschool (14,517 square feet). The remainder of the building, 8,383 square feet, shall remain office. The subject property is located at 900 Wind River Lane, Lot 6, in the MXD (Mixed Use Development) Zone.

Because the original SDP designated this building as office use, an amendment is required per Section 24-198 of the City Code.

The Planning Commission had approved SP-05-0005, the site plan for this office building, on August 3, 2005.

Staff is recommending the Planning Commission hold their record open for 21 days (to close on August 28, 2006) and the Mayor and City Council hold their record open for 32 days (to close on September 8, 2006).

Attached:

See Index of Memoranda and Exhibits

DESIRED OUTCOME:

Staff recommends: Hold Public Hearing.

Planning Commission: Hold Record Open for 21 days (August 28, 2006)

Council: Hold Record Open for 32 days (September 8, 2006)

Joint Public Hearing, August 7, 2006

Index of Memoranda
SDP-06-002
The Crescents at Quince Orchard Park
Lot 6

Number	Exhibit
1.	Application
2.	Site location map
3.	Vicinity Map
4.	Application Appendix: Project Overview
5.	Playground equipment information
6.	Notice to include legal ad for Joint Public Hearing, in the July 19 and 26, 2006, issues of the <i>Gaithersburg Gazette</i>
7.	Public Hearing notice, sent July 14, 2006 to required parties
8.	SDP-06-002 – Site Plan
9.	SDP-06-002 – Landscape Plan
10.	SDP-06-002 – Landscape Details and Notes
11.	SDP-06-002 – Forest Conservation Plan (Two sheets)
12.	SDP-06-002 – Soil Erosion, Sediment Control and SWM Plan
13.	SDP-06-002 – Storm Drain and Paving Plan
14.	SDP-06-002 – Elevations

City of Gaithersburg • 31 South Summit Avenue • Gaithersburg, Maryland 20877 • Telephone: 301-258-6330 • Fax: 301-258-6336
plancode@gaitersburgmd.gov • www.gaithersburgmd.gov

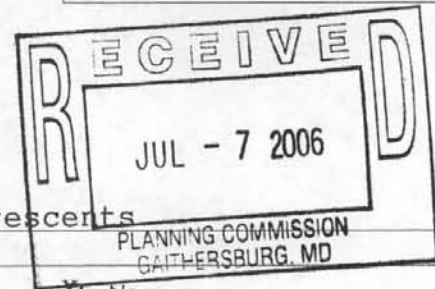
SITE PLAN APPLICATION

In accordance with Article III, Division 19, Section 24-160 D.9
and Article V of the City Code

- ☐ CONCEPT
☐ PRELIMINARY
☐ FINAL (MXD FEE APPLIES)
☒ SCHEMATIC DEVELOPMENT

SDP-06-002

Application #	SDP-06-002
Date Filed	7-7-06
Total Fee	8000.00



1. SUBJECT PROPERTY

Project Name Quince Orchard Park, Lot 6/The Crescents
Street Address 900 Wind River Lane
Zoning MXD Historic area designation ☐ Yes ☒ No
Lot 6 Block _____ Subdivision Quince Orchard Park
Tax Identification Number (must be filled in) 02900216

2. APPLICANT

Name The Goddard School
Street Address 2080 Yellow Spings Road Suite No. _____
City Frederick State MD Zip Code 21702
Telephones: Work (301) 631-6699 Home _____ Fax (301) 428-2801

3. CITY PROJECT NUMBER

Original Site Plan Number (if applicable) S-887 (10/4/89)
Name of previously approved Final Plan (if applicable) Quince Orchard Crescents - Building E

4. ARCHITECT/ENGINEER/DEVELOPER

Architect's Name Soe Lin & Associates
Architect's Maryland Registration Number _____ Telephone (301) 986-9300
Street Address 4340 East West Highway Suite No. 105
City Bethesda State MD Zip Code 20814

Engineer's Name Macris, Hendricks & Glascock, P.A.
Engineer's Maryland Registration Number 10660 Telephone (301) 670-0840
Street Address 9220 Wightman Road Suite No. 120
City Montgomery Village State MD Zip Code 20886

Developer's Name The Goddard School Telephone (301) 631-6699
Street Address 2080 Yellow Springs Road Suite No. _____
City Frederick State MD Zip Code 21702
Contact Person _____

5. PROPERTY OWNER

Name Wynn River, LLC
Street Address c/o 5602 Baltimore National Pike Suite No. 400
City Baltimore State MD Zip Code 21228
Telephones: Work (410) 531-5539 Home _____

continued on reverse side



6. WORK DESCRIPTION

Please state clearly changes requested from final approved plan.

Construct 22,900 sq. ft. consisting of office and a private school with associated parking. Amend existing Schematic Development Plan for a change in use.

7. PROJECT DETAIL INFORMATION**a. POPULATION CHANGES (if any)**

Changes in population estimated due to amendment.

Employee estimate: Total number _____ Total number per shift _____

Resident estimate: Total number _____ Total number per dwelling unit _____

b. PLEASE SUPPLY THE FOLLOWING INFORMATION

DEVELOPMENT INFORMATION		REQUIRED	PROVIDED
1. Site (square feet)			88,673 sf
2. Site Area (acres)			2.03 acres
3. Total Number of Dwelling Units/Lots		1	1
4. Height of Tallest Building		1-2 Stories	21' one story
5. Green Area (square feet)		22,168 sf	25,600 sf
6. Number of Dwelling Units/Acre		-	-
7. Lot Coverage (Percent)			
8. Green Area (Percent)		25%	30.7%
9. Residential			
a. Single Family Detached	# Units		
b. Single Family Attached	# Units		
c. Multi-Family Condo	# Units		
d. Multi-Family Apartment	# Units		
e. Other			
10. Retail/Commercial	Sq. Ft. Educational Institution		14,517 sf
11. Restaurant Class: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C	Sq. Ft.		
12. Office/Professional	Sq. Ft.		
13. Warehouse/Storage	Sq. Ft.		8,383
14. Parking		64	77 spaces
15. Shared Parking/Waiver			
16. Other			
17. Total			

SUBMISSION REQUIREMENTS

- Set of plans per the respective checklist. Plans must be folded to 8 1/2 x 11."
- Completion of the table above.

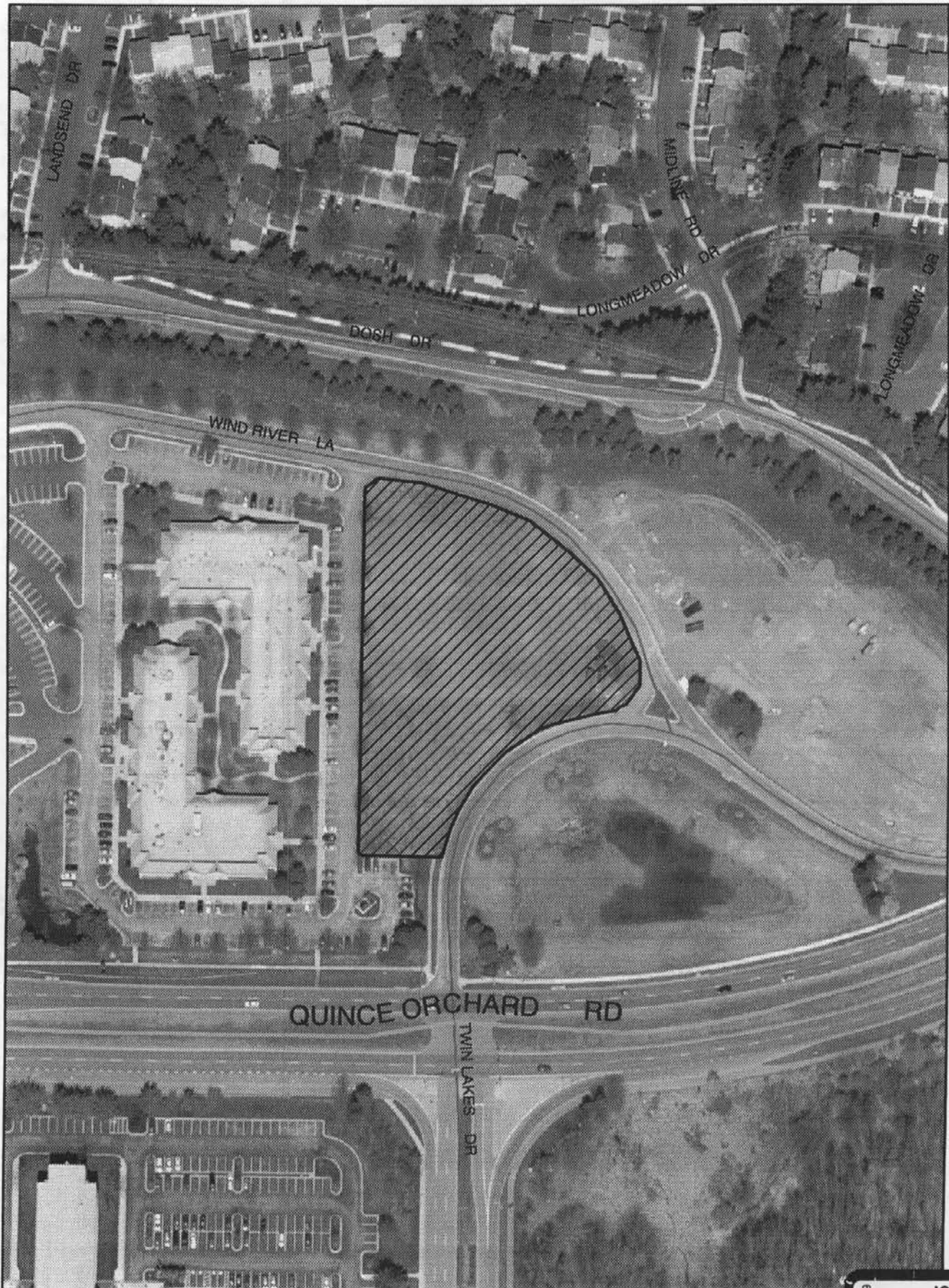
I have read and complied with the submission requirements and affirm that all statements contained herein are true and correct.

Applicant's Name (please print) Brian Donnelly (Agent)

Applicant's Signature Brian Donnelly Date 7/7/06

Daytime Telephone 301-670-0640

SDP-06-002 Quince Orchard Crescents - 900 Wind River Lane



ENGAD 800-631-6989

JOINT
EXHIBIT

#2

SDP-06-002



PENGAD 800-631-6989

JOINT
EXHIBIT

#3

SDP-06-002

Educational Enrichment, LLC

Application Appendix: Project Overview



Name:	Educational Enrichment, LLC Jim & Jill Worley
Address:	12309 Galesville Drive Gaithersburg, MD 20878
Home Phone:	(301) 977-3489
School Phone:	(301) 631-6699
Email:	<u>frederickmd@goddardschools.com</u>
Revision:	002 – July 07, 2006

Overview For:

**The Goddard School in Gaithersburg
900 Wind River Road
Gaithersburg, Maryland 20878**

PROPRIETARY NOTICE

This publication and its contents are proprietary to Educational Enrichment, LLC. No part of this confidential publication may be reproduced in any form or by any means without the written permission of Educational Enrichment, LLC.

1.0 EXECUTIVE SUMMARY

The Educational Enrichment, LLC operated by Jim and Jill Worley is seeking the purchase of building space at 900 Wind River Lane, Gaithersburg, Maryland in order to establish a Goddard School in Gaithersburg, Maryland. The building planned for 900 Wind River Lane has already sought and been granted both a site plan permit and a building permit. Educational Enrichment, LLC seeks to acquire ~65% of the building for use as a non-public educational facility. The remaining ~35% of the building will continue into its current "Office Use" classification.

Long time residents of Gaithersburg (>15 years), Mr. and Mrs. Worley have been searching for a suitable school site in Gaithersburg for over three years. The site at 900 Wind River offers a great opportunity to fulfill their dream of opening a Goddard School in Gaithersburg, and we look forward to working closely with the city and the community to bring the founding of this school to fruition. This will represent the second Goddard School for the business owners who already own and operate the Goddard School in Frederick, Maryland. This overview provides a short background on the Goddard School, a summary of the objectives behind establishing the school in Gaithersburg, and a short review of some minor site plan modifications for which we seek review and approval.

1.1 Overview

Goddard Systems, Inc. is a nationwide franchise of over 235 schools and is opening schools at a rate of approximately 35 schools per year. There are approximately 15 schools in the state of Maryland but currently only a single school in Montgomery County. This school is located within Rockville, Maryland. In operation for over 15 years, Goddard Systems has been rated the top franchise in the industry focused on early childhood education for five years in a row and is the seventh largest enterprise focused on Early Childhood Education in the USA.

The Goddard School is a Maryland Department of Education approved, non-public preschool. The Frederick school, owned by Jim and Jill Worley, has a certification of approval from the Department of Education to operate their school as does every other Goddard School within the state. The Goddard School in Gaithersburg will be similarly approved. It is our intention to offer a scholastic program for children ranging in age from 6 weeks to 10 years (Early Education, Early Preschool, Preschool, Pre-Kindergarten, and Kindergarten, and After School Programs).

The proposed Goddard School in Gaithersburg is anticipated to support approximately 237 students in the building to be located at 900 Wind River Lane. The demographics for the Gaithersburg region are very strong and closely match those of Rockville Maryland where Goddard has a school licensed for 204 students on a 2.0 acre plot. The density of children in Gaithersburg under the age of 6 is very high, and the region is grossly underserved by



high quality preschools. As a result of these two factors, establishing a Goddard School at the 900 Wind River Lane site provides a number of benefits to the local community:

1. Creates a high quality educational facility serving Gaithersburg. Looking at the immediate area around 900 Wind River, it is clear that this school will provide a very meaningful service to not only the employees of the Crescent office complex, but also to the surrounding neighborhoods.
2. Helps to off-load the already burgeoning school systems within the region of the proposed facility.
3. As with our school in Frederick, Maryland, we will work closely with the surrounding elementary schools to insure that our students enter the public school system with a very high degree of competency. This will help to continue to improve the overall quality of the students within our public school system.
4. Helps to not only create teaching jobs within Gaithersburg, but the operation of the school also needs a range of other support services further stimulating the local economy.

The Goddard School is the leader in Early Childhood Education, providing a quality educational program for children between 6 weeks and 6 years of age. The planned breakdown for all the children within the school is as follows:

• Kindergarten (age 6):	15 (6%)
• Pre-Kindergarten (age 4-5):	72 (31%)
• Preschool (age 3-4):	48 (20%)
• Early Preschool (age 2-3):	60 (25%)
• Early Education (<2 years):	42 (18%)
TOTAL:	237 (100%)

These figures are preliminary, but represent the general objectives for the school. All Maryland State Department of Education regulations for non-public schools will be met and the school will gain an Department of Education Certificate of Approval,

2.0 GODDARD SYSTEMS BACKGROUND

2.1 Goddard's Mission Statement

The Goddard School's mission is to provide families with a distinctive alternative to daycare. This has been accomplished by implementing a quality Early Childhood Development curriculum, emphasizing early learning and developmental skills at a competitive market price. Our schools are approved by the Department of Education in each state in which they operate however, our focus on a high quality educational system for our students is universal.

2.2 The Goddard School Concept

At the foundation of the Goddard concept is the belief that the long-range success of the school is determined by the value it provides its customers, employees, suppliers and the community at large. At the core of our philosophy is the knowledge that children are our most precious resource. Our commitment is to provide these young people with nothing less than the finest possible environment for the safe and healthy development of their self-esteem, confidence and the love of learning. The Goddard School addresses the community's need for quality Early Childhood Education.

2.3 The Goddard School's Educational Philosophy

Up to and throughout this period of time, an expanding body of research has been conducted in the field of child development. During the early 1900s, Jean Piaget began studying childhood learning and launched a whole new field of psychology. Recent studies in this field have expanded and refined Piaget's work, and indicate that early "learning stages are more critical than previously believed, especially from birth to six years old. Goddard Systems believed that a preschool service could be designed to focus on these development areas while still providing an environment that is clean, safe and enriching for children.

Once the concept crystallized, a team of educational professionals planned the facilities, program and equipment for The Goddard Schools. Franchising techniques, management expertise, and operational experience has been gathered over the years and has been implemented in the establishment of The Goddard School.



2.4 The Goddard School's Curriculum

The daily educational curriculum for The Goddard School is applied in every classroom in an age appropriate manner. This daily curriculum includes all of the following:

1. Language Arts
2. Foreign Language (Spanish)
3. Cognitive/Math Skills
4. Social Science
5. Science and Nature
6. Creative Art
7. Music and Movement
8. Gross and Fine Motor Skills
9. Sign Language
10. Self Help/Life Skills
11. Computer Science
12. Physical Education
13. Health and Nutrition

The ultimate goal of our curriculum is to develop a lifelong love of learning within all of our students.

2.5 The Employees

The school's operating hours are 7am to 6pm, and the school employs two teams of teachers that operate within these school hours. At any single point in time, the total teacher (and teacher aide) count within the school will be approximately 34:

- 1 School Director
- 1 Assistant Director
- 12 Full Time Bachelor Degreed Teachers
- 10 Full Time "Sr. Staff" Teachers
- 10 Full Time Assistant Teachers/Aides

Total: 34 Total Staff

3.0 BUILDING LAYOUT

A rough layout of the building itself is depicted in Figure 3-1.

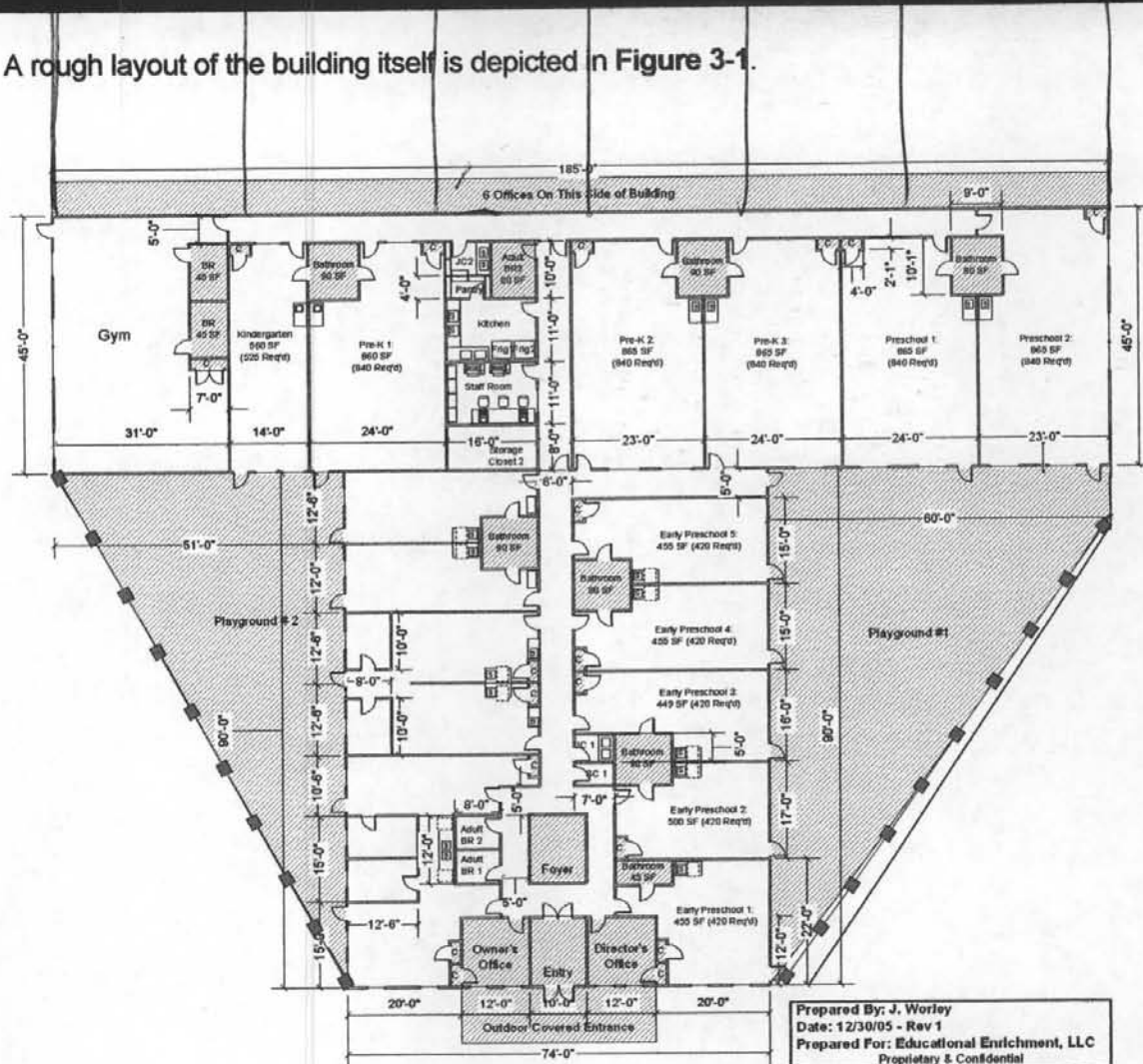
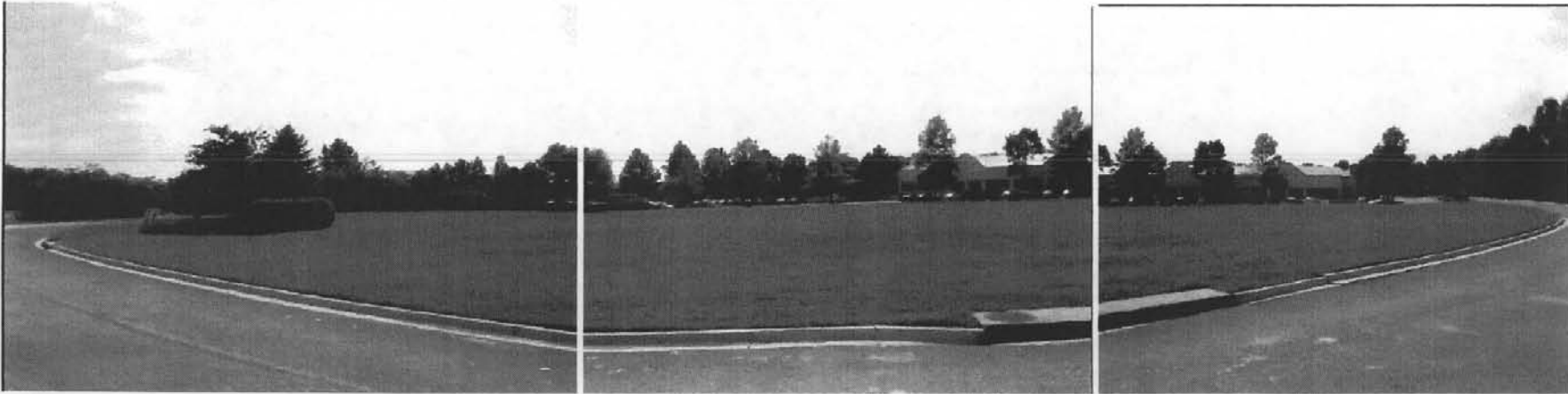


Figure 3-1 – Proposed Rough Building Layout

Note that although the school layout includes an indoor gymnasium, it is a vital part of the Goddard School offering to have outdoor playground space for our students. As a result, we are proposing to remove 4 parking spaces in the area designated Playground 2 and 5 spaces (plus 1 handicap access space) in the area designated Playground 1. We will re-locate the handicap access space to the parking locations directly in front of the school. Because the site requires 77 parking spaces (3.3 spaces/1000 SF) and is currently designed for 87 spaces, removing 10 spaces still insures that the site supports the 77 parking spaces required within the current site plan. Figure 3-2 shows photographs of the building lot and the buildings adjacent to it.



Wind River
Photos_080205.pdf

Figure 3-2: Photos of 2.03 Acre Building Lot & Adjacent Buildings

4.0 Summary

4.1 Private Educational Institution

The Goddard School in Gaithersburg will be a high quality, non-public educational facility approved by the MSDE. Our teachers have Bachelors' degrees in Early Childhood Education or Childhood Development. Every teacher in every classroom (6 weeks to 6 years) is responsible for daily lesson plans, maintaining children's portfolios, daily student activity reports, student progress reports (report cards), and semi-annual parent-teacher conferences.

4.2 MX-D Zoning – Change in Use

The site was previously zoned I-3 and was re-zoned MX-D, Mixed Use Development. It is our understanding from the City of Gaithersburg Code of Ordinances, Section 24-160D.3: Uses Permitted, Subsection (b) Commercial/employment/industrial, all uses allowed by right in any of the following zones: R-B, C-B, C-1, C-2, C-3, E-1, E-2, and I-3 Zones are permitted uses under MX-D Zoning. As a result, the newer MX-D zoning provides for a broader use than the older I-3 zoning alone provided.

Referencing both Section 24-143 (I-3 Zoning) and Section 24-151 (E-1 Zoning) it is stated that one of the "Permitted Uses" within these zones is Educational Facility. As a result, we seek to change the current planned "Office Use" for this portion of the building to another "Permitted Use", that of "Educational Facility".

4.3 Site Plan Modification - Parking

The site is currently required to support 77 parking spaces as an "Office Use" and is providing 87. It is our desire to gain review and approval of the proposed change to the site's parking to remove 10 spaces in order to make space for the school's playground area. All other elements of the site plan remain the same. This will insure that 77 parking spaces remain, meeting, not only the "Educational Use" requirements, but also meeting the original "Office Use" requirement (3.3 spaces/1000 SF). The breakdown for parking will be as follows:

- | | |
|-----------------------------------|--|
| • 8500 SF Office Space: | 29 parking spots (3.3/1000 SF) |
| • 14,300 SF Educational Facility: | 34 parking spots (1 spot per employee) |

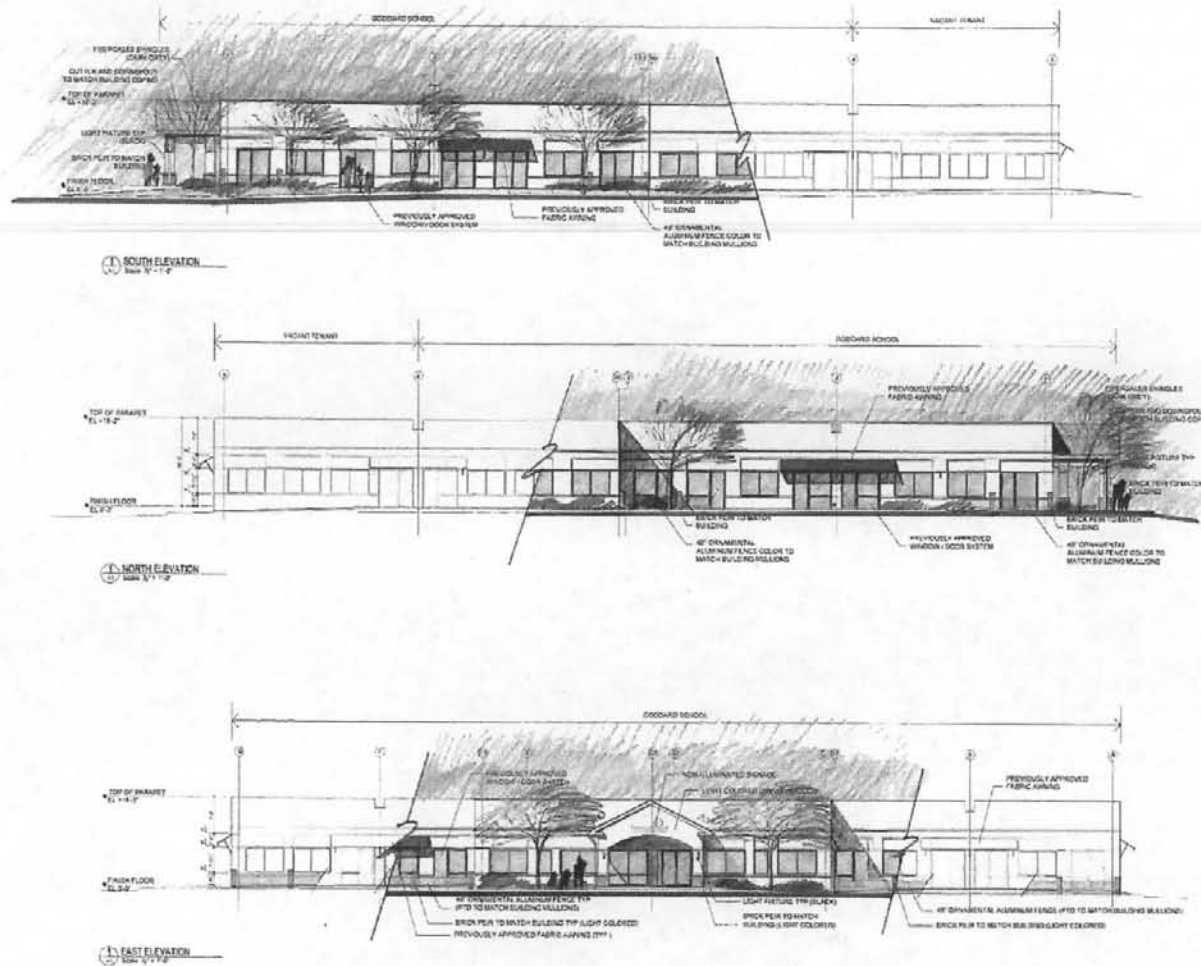
TOTAL USAGE:	63 parking spots
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We would like to insure our above interpretation of the parking requirements for our permitted use is in fact accurate and hence we seek confirmation of the above analysis.

5.0 Attachments

The following attachments are provided as additional support detail for the change in use to an educational facility:

1. **Figure 5-1: 900 Wind River Lane - Color Rendering**
2. **Figure 5-2: Playground Site Plan Modification**
3. **Figure 5-3: Playground Fencing Concept**
4. **Figure 5-4: Commercial Playground System**



SOE LIN

Architect/Interior
Firm
3301 1st Street, NW
Baltimore, Maryland
21201-4454
Tel: 410-528-8800
Fax: 410-528-8801

Notes: Consultations

Drawn By: S.L.
Checked By: S.L.
Date: 10/1/10
Project: 900 Wind River Lane

The Goddard School
1000 Wind River Lane
Gaithersburg, MD

EE COMMERCIAL REAL ESTATE

Drawing Title:
ELEVATIONS

Rev.	Date	By	Check
1	10/1/10	S.L.	S.L.

Figure 5-1: 900 Wind River Lane - Color Rendering

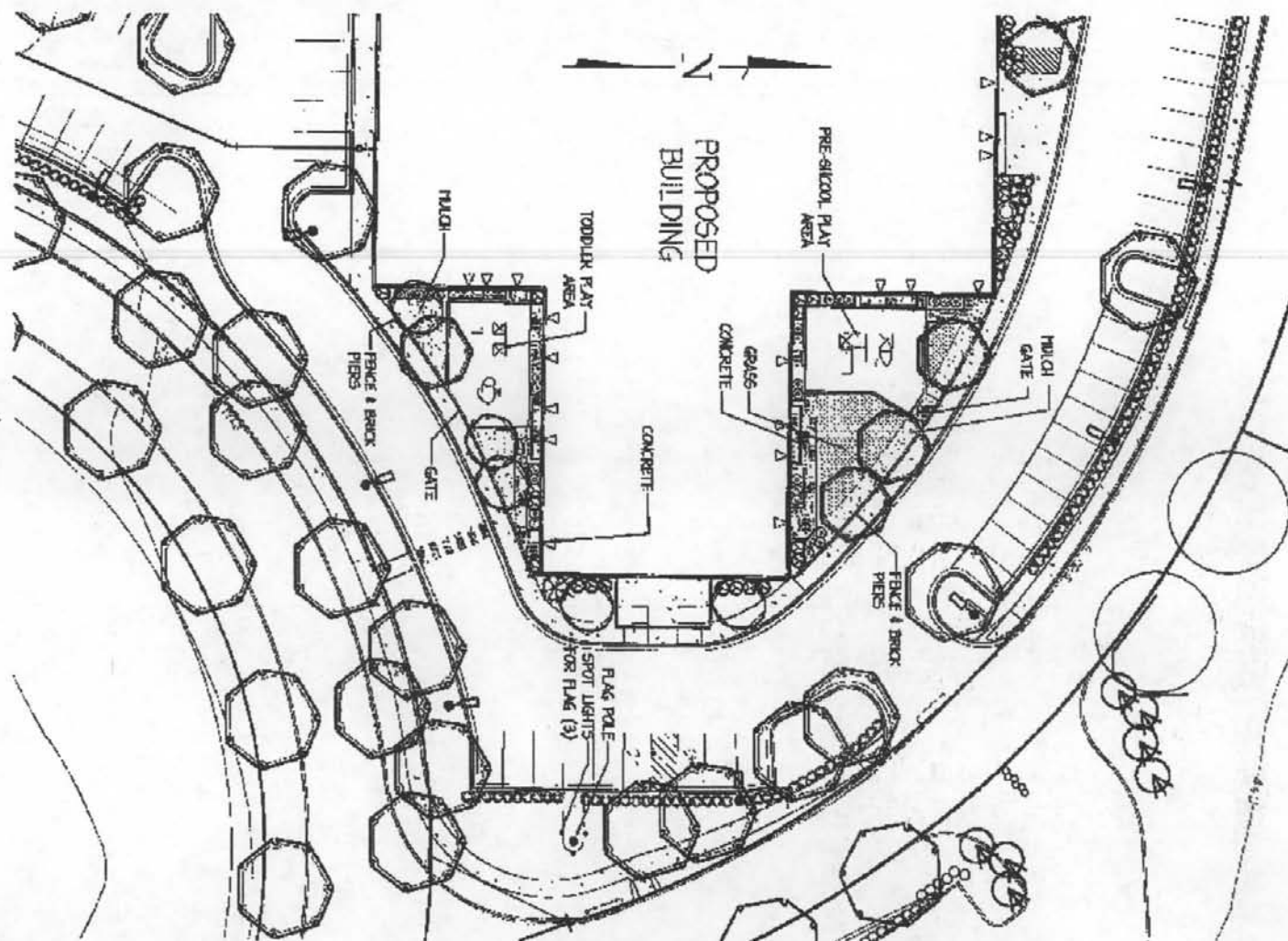


Figure 5-2: Playground Site Plan Modification

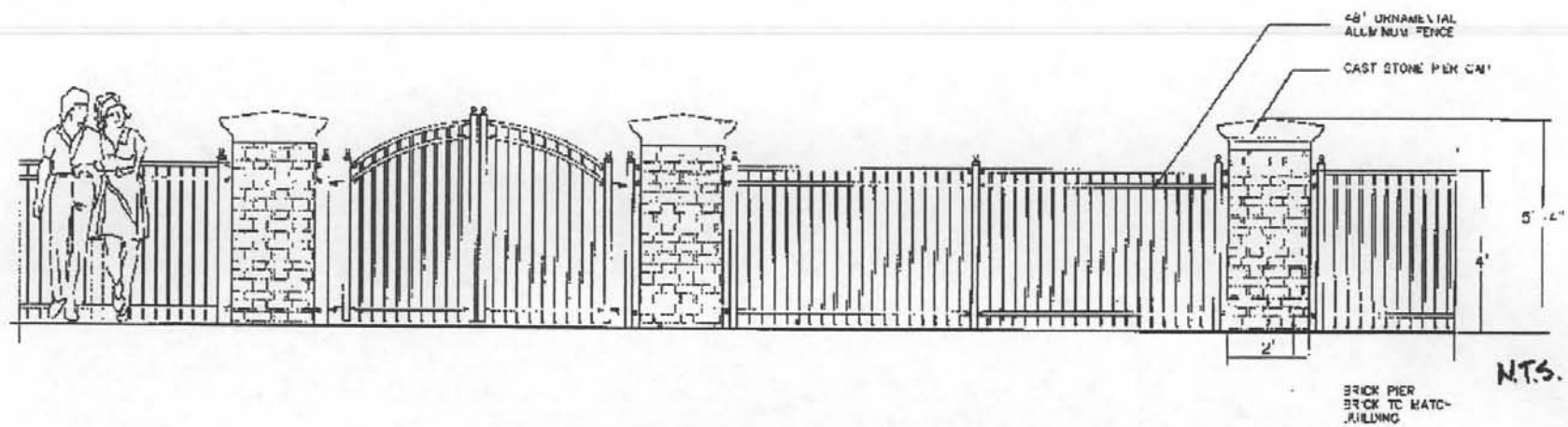
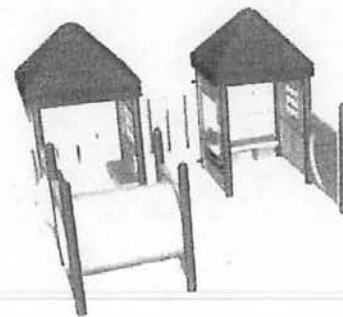


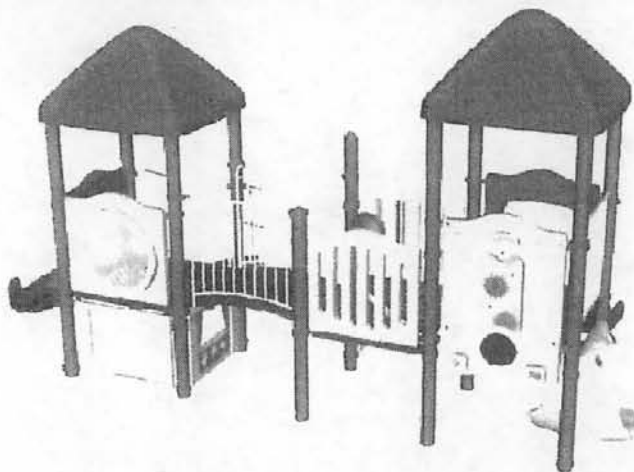
Figure 5-3: Playground Fencing Concept



Preschool Front



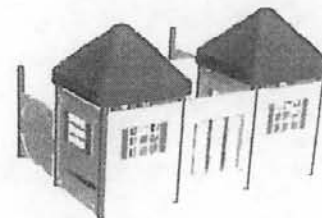
Toddler Village Front



Preschool Rear



Toddler Village Rear



The Goddard School
Earth Tone Option







July 14, 2006

Ashby Rice, Law Section
The Gaithersburg Gazette
P.O. Caller 6006
Gaithersburg, Maryland 20884

Dear Ashby:

Please publish the following legal advertisement in the **July 19 and 26, 2006**, issues of the *Gaithersburg Gazette*.

Sincerely,

Jacqueline Marsh

Jacqueline Marsh, Planner
Planning and Code Administration

ASSIGN CODE: SDP-06-002

NOTICE OF PUBLIC HEARING

The Mayor and Council and Planning Commission of the City of Gaithersburg will conduct a joint public hearing on SDP-06-002, filed by Brian Donnelly of Macris, Hendricks, and Glasscock, for The Goddard School, on

**MONDAY
AUGUST 7, 2006
AT 7:30 P.M.**

or as soon thereafter as this matter can be heard in the Council Chambers at 31 South Summit Avenue, Gaithersburg, Maryland.

The application requests to amend the previously approved Schematic Development Plan, SDP-00-002, The Crescent at Quince Orchard Park. The current application (SDP-06-002) requests a change of use from office to a private educational institution for 14,517 square feet of the previously approved building. The remaining 8,383 square feet will be office. The subject property is located at 900 Wind River Lane, Lot 6, Quince Orchard Park Crescent, and is in the Mixed Use Development (MXD) Zone.

Further information may be obtained from the Planning and Code Administration Department at City Hall, 31 South Summit Avenue, between the hours of 8 a.m. and 5 p.m., Monday through Friday.

Jacqueline Marsh, Planner
Planning and Code Administration

Acct #133649 City of Gaithersburg • 31 South Summit Avenue, Gaithersburg, Maryland 20877-2098
301-258-6300 • FAX 301-948-6149 • TTY 301-258-6430 • cityhall@gaitersburgmd.gov • www.gaitersburgmd.gov

MAYOR
Sidney A. Katz

COUNCIL MEMBERS
Stanley J. Alster
Geraldine E. Edens
Henry F. Marraffa, Jr.
John B. Schlichting
Michael A. Sesma

CITY MANAGER
David B. Humpton

PENGLD 800-631-6989

JOINT
EXHIBIT

#6

SDP-06-002



Gaithersburg

A CHARACTER COUNTS! CITY

CITY OF GAITHERSBURG
31 South Summit Avenue
Gaithersburg, Maryland 20877
Telephone: 301-258-6330

NOTICE OF JOINT PUBLIC HEARING

The City of Gaithersburg Mayor and Council and Planning Commission will conduct a public hearing at the time and place noted below.

Meeting: **MAYOR AND COUNCIL**
Application Type: **SCHEMATIC DEVELOPMENT PLAN**
File Number: **SDP-06-002**
Location: **QUINCE ORCHARD PARK CRESCENT**
Applicant: **THE GODDARD SCHOOL**
Development: **MIXED USE DEVELOPMENT**
Day/ Date/Time: **MONDAY, AUGUST 7, 2006**
Place: **COUNCIL CHAMBERS, GAITHERSBURG CITY HALL
31 SOUTH SUMMIT AVENUE**

*****IMPORTANT*****

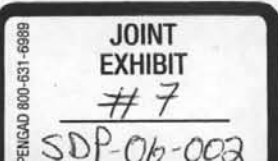
The application requests to amend the previously approved Schematic Development Plan, SDP-00-002, The Crescent at Quince Orchard Park. The current application (SDP-06-002) requests a change of use from office to a private educational institution for 14,517 square feet of the previously approved building. The remaining 8,383 square feet will be office. The subject property is located at 900 Wind River Lane, Lot 6, Quince Orchard Park Crescent, and is in the Mixed Use Development (MXD) Zone. . Contact the Planning and Code Administration City Planner (listed below) at (301) 258-6330 if you should have any questions and/or to learn more about this process and your ability to offer testimony and input.

Joint Mayor and City Council & Planning Commission meetings can be viewed live on Gaithersburg Cable Television Channel 13, and at anytime (on demand) two weeks after the public hearing via the Internet and Web TV at <http://www.gaithersburgmd.gov>.

CITY OF GAITHERSBURG

By: *Jacqueline Marsh*
Jacqueline Marsh, Planner
Planning and Code Administration

SEE LOCATION MAP ON REVERSE SIDE



NOTICES SENT THIS 14th DAY OF JULY TO:

APPLICANT AND INTERESTED PARTIES

(A list of interested parties and agencies is available in the file in the Planning and Code Administration.)

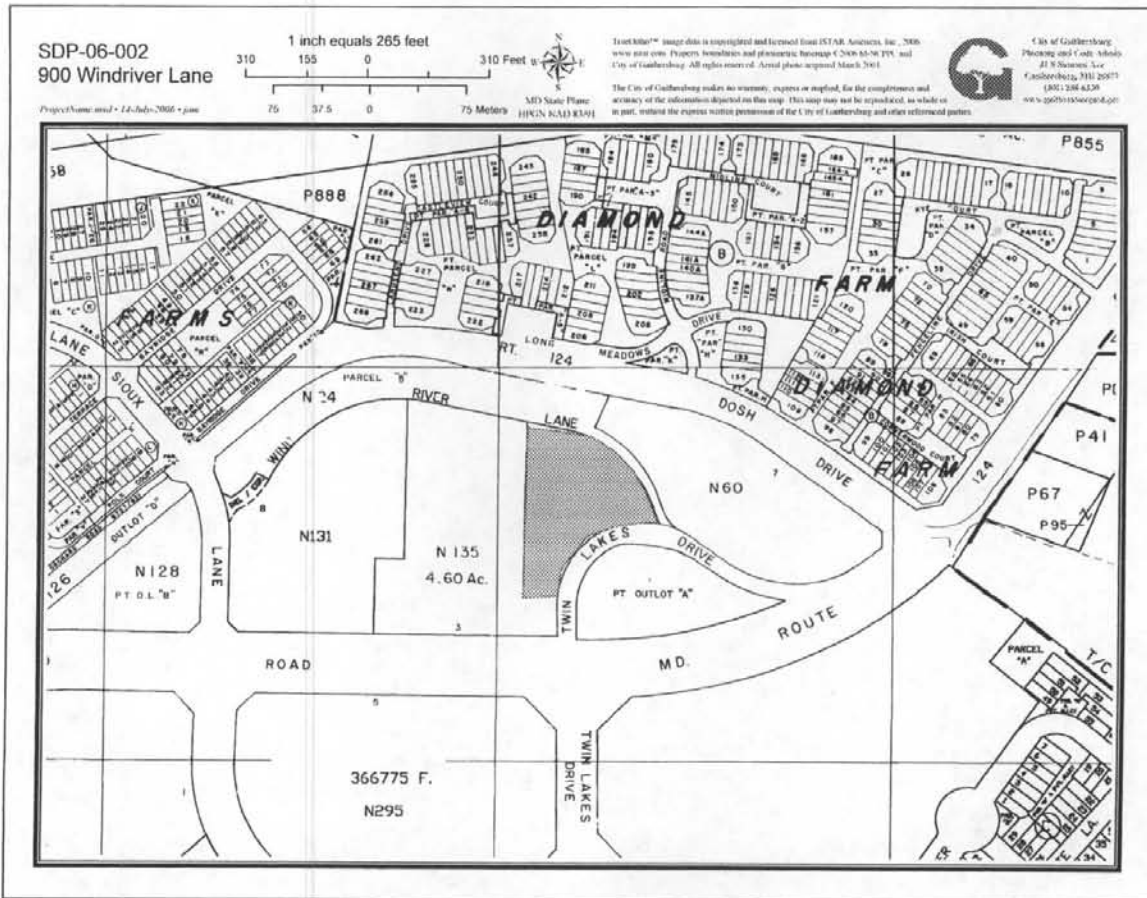
MAYOR AND COUNCIL

PLANNING COMMISSION

CITY STAFF

David B. Humpton, City Manager
Frederick J. Felton, Assistant City Manager
Tony Tomasello, Assistant City Manager
Cathy Borten, City Attorney
Britta Monaco, Public Information Director
Doris Stokes, Administrative Assistant
Jeff Baldwin, City Web Administrator (via email)

LOCATION MAP



OCCUPANT
14 LANDSEND DR
GAITHERSBURG MD 20878

OCCUPANT
1 LANDSEND DR
GAITHERSBURG MD 20878

OCCUPANT
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OCCUPANT
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GAITHERSBURG MD 20878

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20 FENCELINE DR
GAITHERSBURG MD 20878

QOCC ASSOC.
C/O QUADRANGLE DEVELOPMENT CORP
1001 G STREET, NW
SUITE 700
WASHINGTON DC 2001

RICK MARVIN
223 LITTLE QUARRY RD
GAITHERSBURG MD 20878

SALLY GORSLINE
411 BEACN HILL TER
GAITHERSBURG MD 20878

SOE LIN & ASSOC.
4340 EAST WEST HIGHWAY
SUITE 105
BETHESDA MD 20814

VIC BRYANT
MACRIS HENDRICKS & GLASCOCK
9220 WIGHTMAN RD
GAITHERSBURG MD 20879

BARBARA SEARS
LINOWES & BLOCHER
7200 WISCONSIN AVE #800
BETHESDA MD 20814

BEVERLY WEIDMANN
1030 BAYRIDGE TER
GAITHERSBURG MD 20878

CINDY DALTON
15 POLK CT
GAITHERSBURG MD 20878

HIGHLAND DEVELOPMENT CORP
PO BOX 228
CLARKSBURG MD 21029

JAMES RUFF
MACRIS HENDRICKS & GLASCOCK
9220 WIGHTMAN RD
GAITHERSBURG MD 20879

LARRY PENN
897 BAYRIDGE DR
GAITHERSBURG MD 20878

LARRY SEEGER
FERNSHIRE FARMS HOA
1015 BAYRIDGE TER
GAITHERSBURG MD 20878

LASHENA WILLIAMS
35 BEACON HILL CT
GAITHERSBURG MD 20878

OCCUPANT
9 POLK CT
GAITHERSBURG MD 20878

OCCUPANT
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GAITHERSBURG MD 20878

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11 BEACON HILL WAY
GAITHERSBURG MD 20878

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GAITHERSBURG MD 20878

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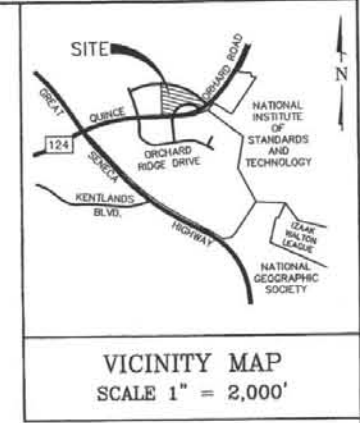
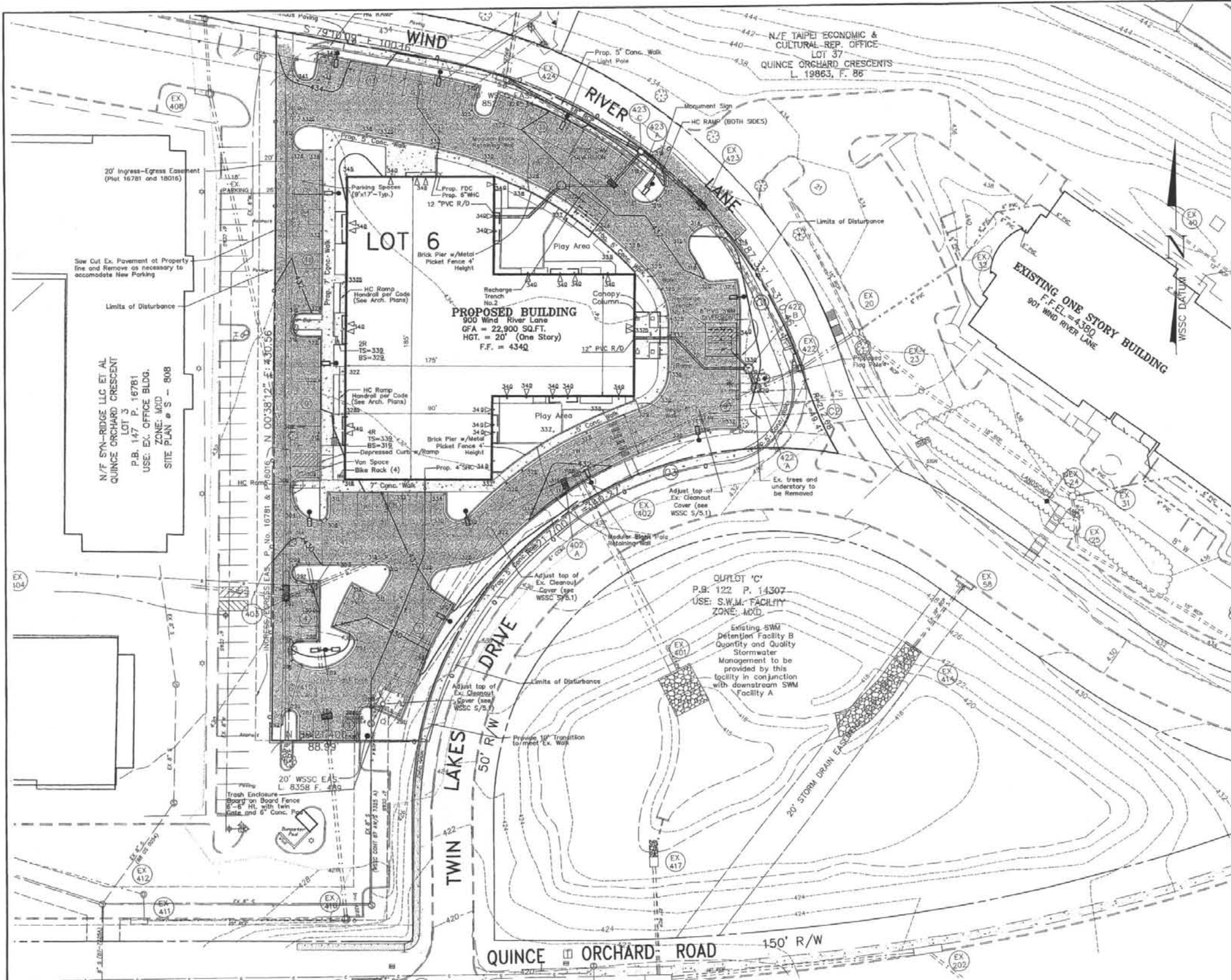
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GAITHERSBURG MD 20878

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GAITHERSBURG MD 20878

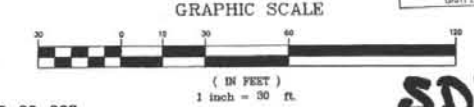
WILLIAM MICHAEL
1021 BAYRIDGE TER
GAITHERSBURG MD 20878



- Project Description: Lot 6 83,426 sq. ft. or 2.03 acres
900 Wind River Lane / Tax ID# 02900216 (Pb 159/ P 18022)
- Existing Zoning MXD (Per Text Amendment Z-275)
- Building Summary:
Gross Floor Area * = 22,900 sq. ft. (Total)
Use = Office = 8,383 sq. ft.
Educational Institution = 14,517 sq. ft.
Building Height = 21 feet
* Per previously approved Schematic Development Plan, SDP-002
- Green Area Required = 25.0% (22,106 sq. ft.)
Green Area Provided = 30.7% (25,600 sq. ft.)
- Parking Tabulation:
Office 8,383 s.f. x 300 s.f. per space = 28 spaces
Educational Institution 36 emp. x 1 space per employee = 36 spaces
REQUIRED Parking = 64 spaces
Standard Spaces 73 spaces
Handicapped 4 spaces
PROVIDED (Total) 77 spaces
- Int. Landscape Required = 5.0% or 1,942 sq. ft.
Int. Landscape Provided = 14.8% or 5,750 sq. ft.
Total Parking Compound = 38,850 sq. ft.

NOTES

- All perimeters, paving edges, and islands shall be curbed.
- Curbs, gutters, sidewalks, and paving shall be installed in such a manner as to provide positive drainage of all areas so there is no accumulation of surface water.
- All paving, storm drainage, utilities, and improvements on this parcel are private and the maintenance is the responsibility of the owner.
- See approved Forest Stand Delineation and Approved Forest Conservation Master Plan for environmental requirements.
- The entire site including building, parking, amenities, landscaping, signs, etc. to be completed in one phase.
- Pursuant to 24-1600.9(b)(2) a waiver of the requirement for a Schematic Development Plan to contain a minimum of 100,000 sq. ft. of proposed office development has been granted as part of SDP-00-002, dated Feb. 5, 2001.
- The site is absent any one hundred year floodplains, forest, or streams.



#SDP-00-002
TAX MAP FS 123

SDP-06-002
WSSC 222 NW 11

A MARYLAND REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT SEAL AND SIGNATURE ON PLANS WILL BE ACCEPTED AS PRIMA FACIE EVIDENCE THAT PLANS ARE IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS

Call "Miss Utility" at 1-800-257-7777, 48 hours prior to the start of work.
The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

CITY OF GAITHERSBURG MAYOR & COUNCIL
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877
SCHEMATIC DEVELOPMENT PLAN APPROVAL
AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON _____
APPLICATION NO. _____ WAS GRANTED
SCHEMATIC DEVELOPMENT PLAN APPROVAL
BY RESOLUTION _____ WITH _____ COORDINATIONS
DATE _____ BY _____
NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE APPROVED BY THE MAYOR & CITY COUNCIL

APPLICANT
Goddard School
2080 Yellow Springs Road
Frederick, Maryland 21702
Tel: (301) 631-6699
Fax: (301)-682-7088

OWNER
Wynn River, L.L.C.
Post Office Box 228
Clarksville, Maryland 21029
(410) 531-5539

ARCHITECT
See Lin & Associates
4340 East West Highway, Suite 105
Bethesda, Maryland 20814
(301) 986-9300

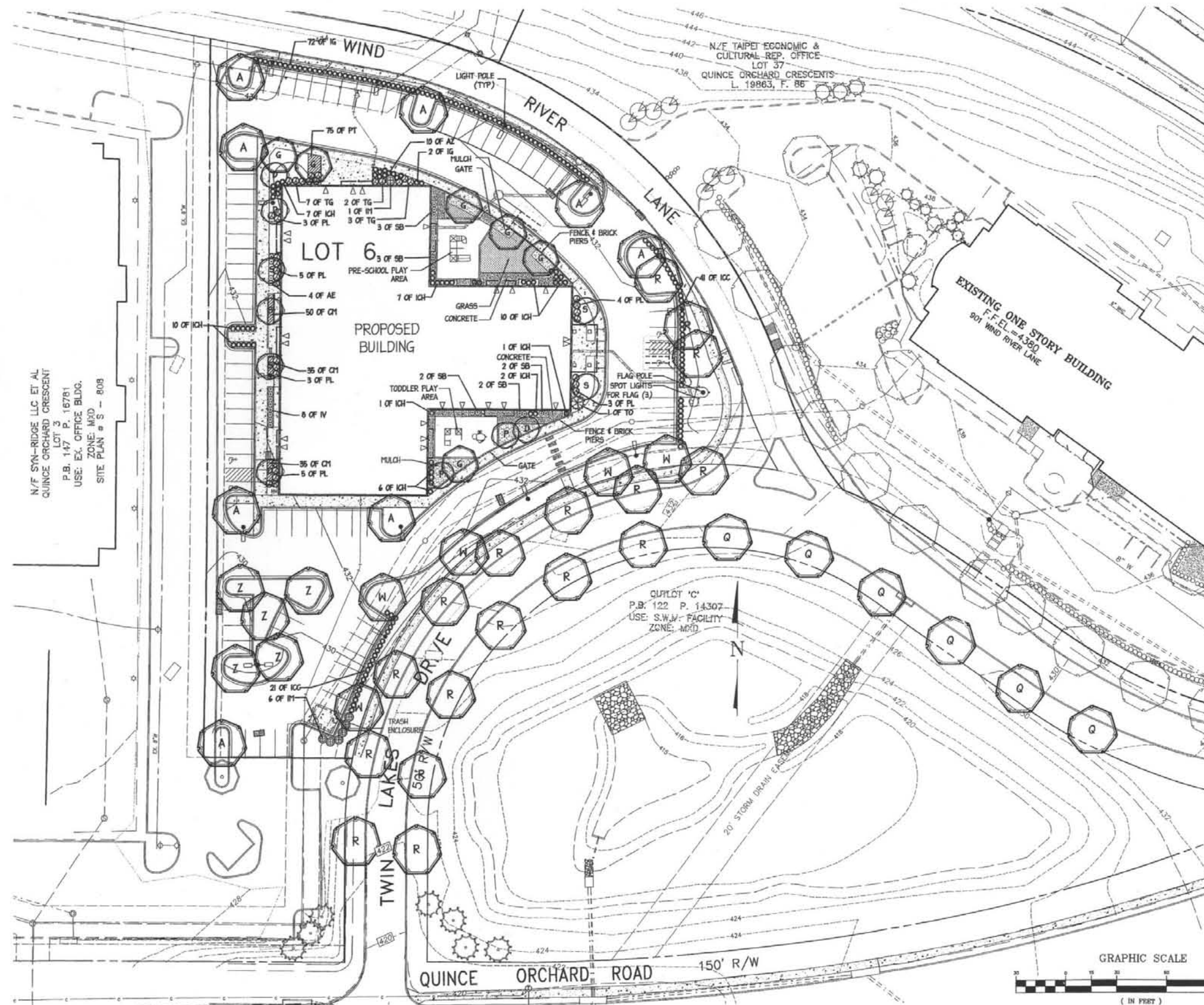
NO.	DATE	DESCRIPTION	BY
1	07/07/06	SDP submission to City	

SCHEMATIC DEVELOPMENT PLAN
SITE PLAN
QUINCE ORCHARD CRESCENTS
LOT 6 (P.B. 159 P. 18016)
9TH ELECTION DISTRICT - City Of Gaithersburg - MARYLAND

Macris, Hendricks & Glascock, P.A.
Engineers • Planners • Surveyors
(301) 670-0840 Suite 120
FAX (301) 948-0693 9220 Wightman Road
WWW.MHGA.COM Montgomery Village, Maryland
20886-1279

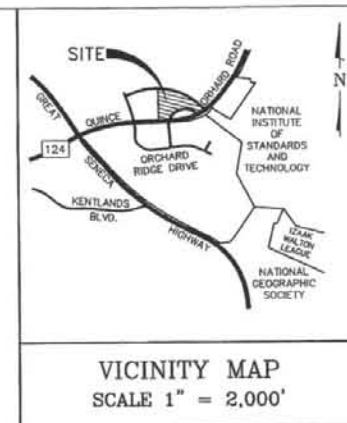
Designed BJD	Drawn ABJ
Date 07/07/06	Scale 1"=30'
Job No. 89-142-95	Sheet 1 of 2

JOINT EXHIBIT #8
SDP-06-002



LEGEND

- Proposed Shade Tree
- Proposed Ornamental Trees
- Proposed Evergreen Trees
- Proposed Shrubs
- Proposed Ground Cover
- Seasonal Color



LANDSCAPE PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	CAL	HGT	SPD	ROOT	NOTES
SHADE TREES								
A	8	Aster rubrum 'October Glory'	October Glory Red Maple	2-3 1/2"			DBS	
G	6	Quercus macrocarpa x. imbricaria	Shadblow Honeylocust	2-3 1/2"			DBS	
J	6	Quercus rubra	Red Oak	2-3 1/2"			DBS	
R	17	Quercus rubra	Red Oak	2-3 1/2"			DBS	
W	5	Quercus phellos	Willow Oak	2-3 1/2"			DBS	
Z	3	Yucca filamentosa 'Village Green'	Village Green Japanese Yucca	2-3 1/2"			DBS	
EVERGREEN TREES								
TO	1	Thuja occidentalis 'Tideley'	Masson Arborvitae		5-6'		Cont.	
ORNAMENTAL TREES								
D	4	Cornus 'Constellation' (Nutsen)	Constellation Dogwood		5-10'		DBS	
S	5	Magnolia virginiana	Sweetbay Magnolia		6-10'		DBS	
P	2	Prunus x. nana 'Charm'	Charm Cherry		5-10'		DBS	
DECIDUOUS SHRUBS								
AE	4	Abelia x. 'Edward Goucher'	Edward Goucher Abelia		24-30"		Cont.	36" o.c.
IV	8	Yucca virginica 'Henry's Gem'	Henry's Gem Yucca		15-24"		Cont.	36" o.c.
DS	12	Spiraea x. vanilla 'Anthony Waterer'	Anthony Waterer Spiraea		15-24"		Cont.	36" o.c.
EVERGREEN SHRUBS								
IC	5	Aucuba 'Delaware Valley White'	Delaware Valley White Aucuba		18-24"		Cont.	36" o.c.
IC	5	Aucuba 'Mottled Bay'	Mottled Bay Aucuba		18-24"		Cont.	36" o.c.
IC	5	Yucca 'Compacta'	Compact Japanese Holly		24-30"		Cont.	36" o.c.
IC	34	Yucca 'Yellow'	Yellow Japanese Holly		18-24"		Cont.	36" o.c.
IC	74	Yucca 'Shanrock'	Shanrock Holly		24-30"		Cont.	36" o.c.
IC	2	Yucca 'Cherry Day'	Cherry Day Holly		36-42"		Cont.	60" o.c.
IC	5	Yucca 'Cherry Day'	Cherry Day Holly		36-42"		Cont.	60" o.c.
IC	24	Yucca 'Cherry Day'	Cherry Day Holly		36-42"		Cont.	60" o.c.
IC	12	Yucca 'Cherry Day'	Cherry Day Holly		36-42"		Cont.	60" o.c.
ORNAMENTAL GRASSES & GROUNDCOVERS								
CM	120	Carex 'Ice Dance'	Ice Dance Japanese Sedge				#1 Cont.	12" o.c.
PT	75	Pachyandra terminalis	Japanese Spurge				4" Filler	12" o.c.

CITY OF GAITHERSBURG MAYOR & COUNCIL
31 SOUTH BURNING AVENUE, GAITHERSBURG, MARYLAND 20877

SCHEMATIC DEVELOPMENT PLAN APPROVAL

AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON:

APPLICATION NO. _____ WAS GRANTED

SCHEMATIC DEVELOPMENT PLAN APPROVAL

BY RESOLUTION _____ WITH _____ CONDITIONS

DATE _____ BY _____

NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE MAYOR & CITY COUNCIL.

APPLICANT

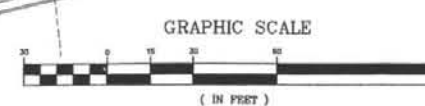
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ARCHITECT

Soe Lin & Associates
4340 East West Highway, Suite 105
Bethesda, Maryland 20814
(301) 986-9300



NO.	DATE	DESCRIPTION	BY

#SDP-00-002
TAX MAP FS 123

**SCHEMATIC DEVELOPMENT PLAN
LANDSCAPE PLAN**

QUINCE ORCHARD CRESCENTS
LOT 6 (P.B. 159 P. 18016)
9TH ELECTION DISTRICT - City Of Gaithersburg - MARYLAND

Macris, Hendricks & Glascock, P.A.
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(301) 670-0840
FAX (301) 948-0693
WWW.MHGA.COM

Suite 120
9220 Wightman Road
Montgomery Village, Maryland
20886-1279

Designed B.J.D.	Drawn G.S.H.
Date 7/6/06	Scale 1"=30'
Job No. 89-142-95	Sheet 1 of 1

Call "Miss Utility" at 1-800-257-7777, 48 hours prior to the start of work.

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to excavation. The excavator is responsible for compliance with requirements of Chapter 28A of the Montgomery County Code.

A MARYLAND REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT SEAL AND SIGNATURE ON PLANS WILL BE ACCEPTED AS PRIMA FACIE EVIDENCE THAT PLANS ARE IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS

JOINT EXHIBIT #9
SDP-06-002

PLANTING NOTES

Description

Planting shall consist of furnishing and installing plant material as shown on the plans. Care and replacement necessary to complete the work as specified shall be provided.

The Landscape Plan is to be used for planting purposes only.

Materials

A. Plant Material

- The installer shall make arrangements to insure a supply of the required material. This shall be done six (6) months prior to planting time to guarantee the supply.
- All plant material shall conform to the current issues of the American Standard for nursery stock published by the American Association of Nurserymen, except where otherwise noted.
- Plant materials must be selected from nurseries that have been inspected by appropriate state and federal agencies.
- All plant material shall be obtained from mid Atlantic area sources, and approved by the owner or duly appointed representative prior to planting.
- Any substitutions for plants shall be approved by the Planning and Code Administration, City of Gaithersburg, as to size, quantity, or variety.
- Unless otherwise stipulated, plant installation shall comply with the standards in the latest edition of "Landscape Specifications Guidelines," developed by the MD-DC-VA chapter of the Landscape Contractors Association.
- Plant material shall be provided with plant identification tags listing the latin and common names. The tags shall not be removed until after final certification by the landscape architect.

B. Planting

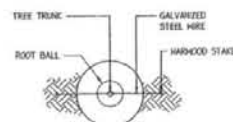
- Planting will be installed no later than (1) year after completion of the construction project.
- Root Stock of the plant material shall be kept moist during transportation from the source to the job site and until planted. Plant materials left unplanted shall be protected from direct sun and weather and kept moist.
- Containers or wire baskets containing the root ball shall be removed; burlap covering shall be removed from the top 1/3 of the root ball.
- Plants shall be installed only between the months of January and May or between September and December when ground is not frozen. Plants shall be guaranteed for a two-year period from the time of installation, concurrent with the two-year Forest Conservation maintenance period required by the City of Gaithersburg. Any replacements must be installed as above.
- Soil conditions must be tested, verified and adjusted by the landscape contractor to insure that appropriate soil composition and pH levels are suitable for plant materials specified for that specific location.
- All areas are to be seeded or sodded as shown in drawing. Install seed and sod per the Landscape Contractors Association's latest edition of "Landscape Specifications Guidelines".
- The installer shall adequately water all plants promptly following installation to insure plant growth.
- Watering of the plant material shall take place at the end of each fifth day through September 1, if the soil is not moist.
- Contractor shall be responsible for making himself familiar with all the existing on-site conditions prior to submission of bid. The contractor is responsible for the location of all underground utilities, pipes, and structures. Contractor shall take sole responsibility for any cost incurred due to damage of said utilities. Call Miss Utility, 48 hours prior to digging (1-800-257-7777).
- All plants shall be placed so as not to obstruct drainage.
- All newly planted trees shall be pruned as necessary to remove dead branches or to create uniform shape. Do not prune loader.
- Where field conditions exist which would adversely affect plant performance, or interfere with proper planting procedures, the contractor shall notify the Owner prior to installation of plant material. Such conditions include, but are not limited to, areas of obviously poor drainage.
- All trees are to be located a minimum distance of 5' from all utility boxes, 5' from a storm drain inlet or manhole, 10' from a fire hydrant, 15' from any public street light, 5' from any driveway apron, 20' from any traffic control sign, and at least 30' from any intersection.
- All mulch to be shredded hardwood bark to a depth of three inches in landscape areas.
- Contractor to confirm quantity of plant materials by plan count. Notify landscape architect of any discrepancy prior to planting.

C. Clean Up

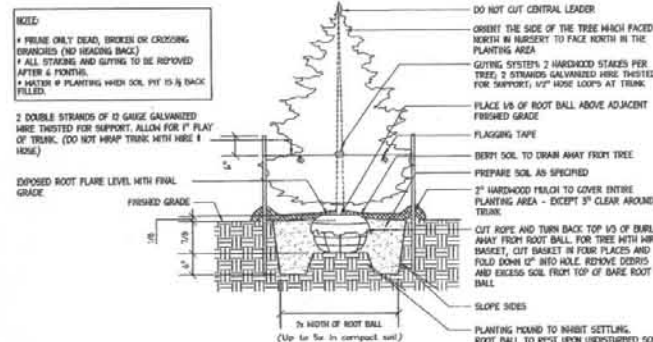
- Final Clean up shall be the responsibility of the installer and consist of removing all trash and materials incidental to the project and properly disposing of them off site. In addition the construction procedure shall not damage any areas of existing plants which are to remain.
- There shall be no open burning on-site.
- The contractor shall replace or repair at no cost to the owner, all site areas or surrounding items damaged by work of his contracts.
- During landscape work, store materials and equipment where directed. Keep pavement clean and work areas in an orderly condition.

D. Inspection

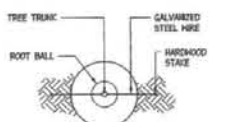
- All plant material will be reinspected for survival by the Planning and Code Administration one year following installation. A 10 percent maintenance bond will be retained during this time period.



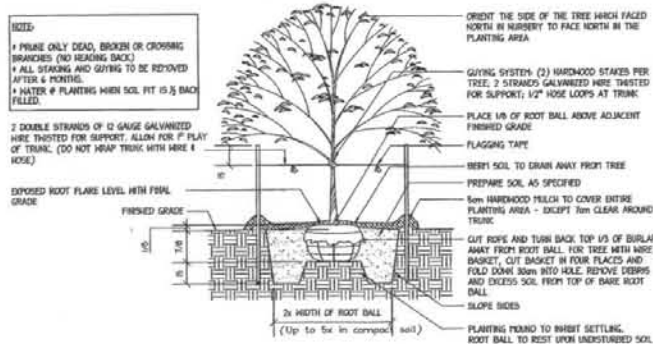
PLAN VIEW



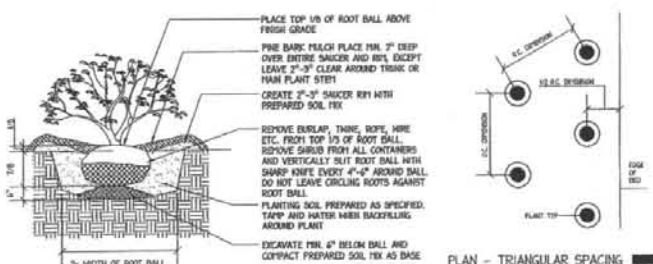
EVERGREEN TREE PLANTING - UNDER 3" CALIPER



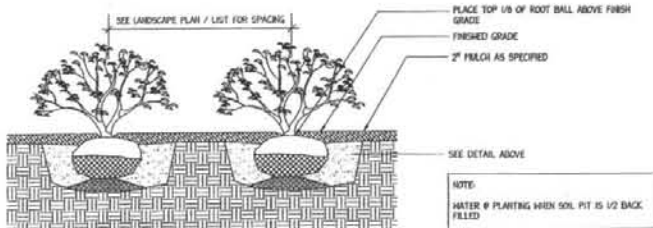
PLAN VIEW



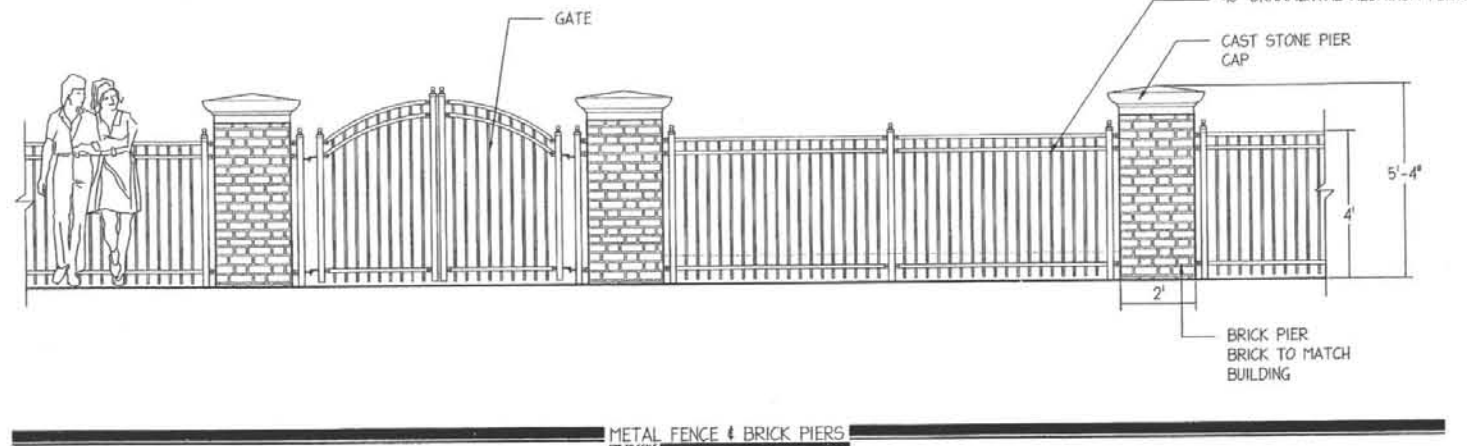
DECIDUOUS TREE PLANTING - UNDER 3" CALIPER



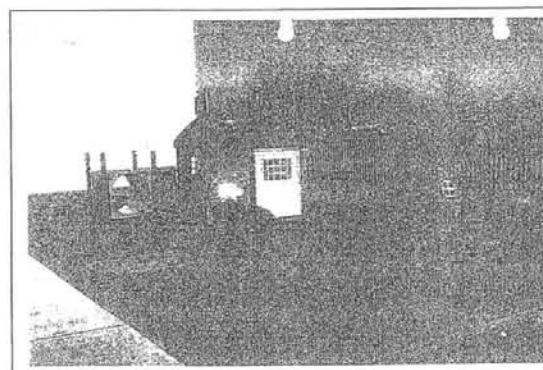
PLAN - TRIANGULAR SPACING



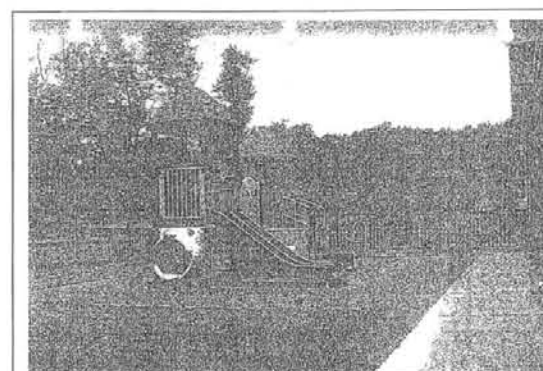
SHRUB & MASS SHRUB PLANTING



METAL FENCE & BRICK PIERS



INFANT PLAY STRUCTURES



PRE-SCHOOL PLAY STRUCTURE



PLAY STRUCTURES

COLORS: EARTH TONES



CITY OF GAITHERSBURG MAYOR & COUNCIL
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877
SCHEMATIC DEVELOPMENT PLAN APPROVAL
AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON _____
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BY RESOLUTION _____ WITH _____ CONDITIONS.
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TAX MAP FS 123

WSSC 222 NW 11

SCHEMATIC DEVELOPMENT PLAN
LANDSCAPE DETAILS and NOTES
QUINCE ORCHARD CRESCENTS
LOT 6 (P.B. 159 P. 18016)
9TH ELECTION DISTRICT - City Of Gaithersburg - MARYLAND

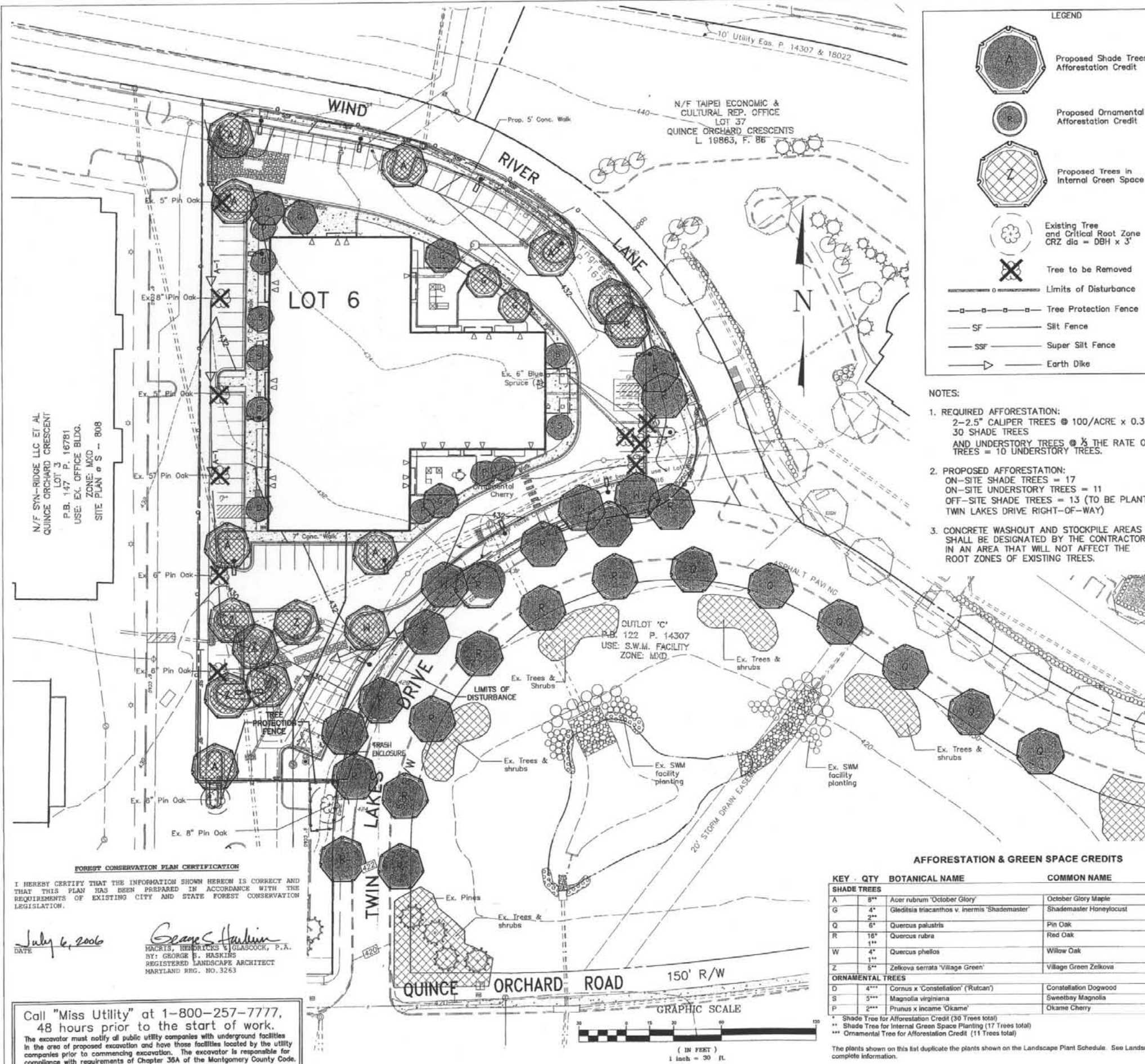
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WWW.MHGPA.COM
Suite 120
9220 Wightman Road
Montgomery Village, Maryland
20886-1279

Designed BJD
Date 7/6/06
Job No. 89-142-75
Scale AS NOTED
Sheet 2 of 2

NO.	DATE	DESCRIPTION	BY

JOINT EXHIBIT
#10

SDP-06-002



LEGEND

- Proposed Shade Trees for Afforestation Credit
- Proposed Ornamental Trees for Afforestation Credit
- Proposed Trees in Internal Green Space
- Existing Tree and Critical Root Zone CRZ dia = DBH x 3'
- Tree to be Removed
- Limits of Disturbance
- Tree Protection Fence
- Silt Fence
- Super Silt Fence
- Earth Dike

- NOTES:**
- REQUIRED AFFORESTATION:
2-2.5" CALIPER TREES @ 100/ACRE x 0.3 ACRES = 30 SHADE TREES
AND UNDERSTORY TREES @ 1/2 THE RATE OF SHADE TREES = 10 UNDERSTORY TREES.
 - PROPOSED AFFORESTATION:
ON-SITE SHADE TREES = 17
ON-SITE UNDERSTORY TREES = 11
OFF-SITE SHADE TREES = 13 (TO BE PLANTED IN TWIN LAKES DRIVE RIGHT-OF-WAY)
 - CONCRETE WASHOUT AND STOCKPILE AREAS SHALL BE DESIGNATED BY THE CONTRACTOR IN AN AREA THAT WILL NOT AFFECT THE ROOT ZONES OF EXISTING TREES.

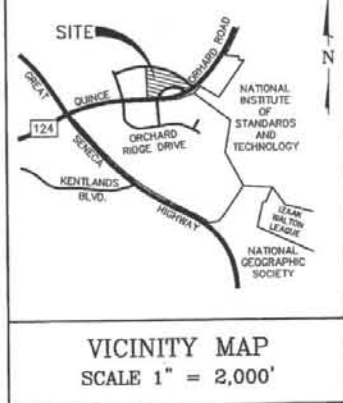
AFFORESTATION & GREEN SPACE CREDITS

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
SHADE TREES				
A	8**	Acer rubrum 'October Glory'	October Glory Maple	2-2 1/2" cal.
G	4*	Gleditsia triacanthos v. inermis 'Shademaster'	Shademaster Honeylocust	2-2 1/2" cal.
Q	6*	Quercus palustris	Pin Oak	2-2 1/2" cal.
R	16*	Quercus rubra	Red Oak	2-2 1/2" cal.
W	4*	Quercus phellos	Willow Oak	2-2 1/2" cal.
Z	5**	Zelkova serrata 'Village Green'	Village Green Zelkova	2-2 1/2" cal.
ORNAMENTAL TREES				
D	4***	Cornus x 'Constellation' (Rutcan)	Constellation Dogwood	8-10' ht.
S	5***	Magnolia virginiana	Sweetbay Magnolia	8-10' ht.
P	2***	Prunus x incana 'Okame'	Okame Cherry	8-10' ht.

* Shade Tree for Afforestation Credit (30 Trees total)
** Shade Tree for Internal Green Space Planting (17 Trees total)
*** Ornamental Tree for Afforestation Credit (11 Trees total)

The plants shown on this list duplicate the plants shown on the Landscape Plant Schedule. See Landscape Plan for complete information.

CITY OF GAITHERSBURG
31 SOUTH SUMMIT AVENUE
GAITHERSBURG, MARYLAND 20877
FCP APPROVAL
THE CITY OF GAITHERSBURG DEVELOPMENT REVIEW TEAM HEREBY GRANTS APPROVAL OF FOREST CONSERVATION PLAN FOR APPLICATION NO. _____
DATE _____ BY _____



Project name: Quince Orchard Crescents Lot 6
MHG File No.: 02-May-05

FOREST CONSERVATION WORKSHEET

A. Total area of tract:	2.03 ac.
B. Area within 100 year flood plain:	0.00 ac.
C. Area of land to be used for agriculture:	0.00 ac.
D. Area within WSSC or MCDOT row/easement responsibility:	0.00 ac.
E. Net tract area:	2.03 ac.
F. Land use category:	Commercial
G. Afforestation threshold:	15 % of net tract area = 0.30 ac.
H. Conservation threshold:	15 % of net tract area = 0.30 ac.
I. Existing forest cover:	0.00 ac.
J. Forest cover above afforestation threshold:	0.00 ac.
K. Forest cover above conservation threshold:	0.00 ac.
CALCULATION OF BREAK-EVEN POINT	
L. Break even point:	N/A ac.
M. Forest area to be retained:	0.00 ac.
N. Total area of forest to be cleared:	0.00 ac.
CALCULATION OF AFFORESTATION REQUIREMENT	
P. Afforestation requirement:	0.30 ac.
CALCULATION OF REFORESTATION REQUIREMENT	
Q. Area of forest above conservation threshold to be cleared:	0.00 ac.
R. Area of forest below conservation threshold to be cleared:	0.00 ac.
S. Forested area above conservation threshold to be saved:	0.00 ac.
T. Planting required for clearing above threshold:	0.00 ac.
U. Planting required for clearing below threshold:	0.00 ac.
V. Credit for forest saved above conservation threshold:	0.00 ac.
W. Total reforestation requirement:	0.00 ac.
TOTAL PLANTING REQUIREMENT	
X. Afforestation and reforestation:	0.30 ac.
Y. Credit for trees and landscaping:	0.00 ac.
Landscaped Areas:	
Individual/Street Trees:	s.f. @ full credit = 0.00 ac. s.f. @ 1/4 credit = 0.00 ac.
Full credit trees @	ft. dia. ea. @ 20 yrs. = 0.00 ac.
1/4 credit trees @	ft. dia. ea. @ 20 yrs. = 0.00 ac.
Specimen/Champion Trees	s.f. of C.R.Z. = 0.00 ac.
Total credit =	
0.00 ac.	
Z. Total forest planting requirement:	0.30 ac.

NOTES:
-Any apparent inconsistency of displayed totals due to value rounding.
-This spreadsheet format reflects the worksheet contained in the Approved Technical Manual, dated September, 1992, by the Montgomery County Planning Department.



APPLICANT
Goddard School
2080 Yellow Springs Road
Frederick, Maryland 21702
Tel: (301) 631-6699
Fax: (301)-682-7088

OWNER
Wynn River, L.L.C.
Post Office Box 228
Clarksville, Maryland 21029
(410) 531-5539

TAX MAP FS 123
SDP-06-002
SSC 222 NW 11

FOREST CONSERVATION PLAN
LOT 6
QUINCE ORCHARD CRESCENTS
P.B. 159 P. 18016 & 18022
9TH ELECTION DISTRICT - City Of Gaithersburg - MARYLAND

Macris, Hendricks & Glascock, P.A.
Engineers • Planners • Surveyors
(301) 670-0840
FAX (301) 948-0693
WWW.MHGA.COM

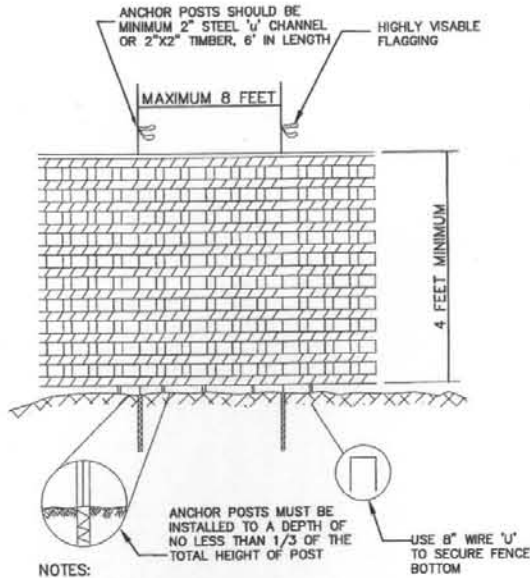
Suite 120
9220 Wightman Road
Montgomery Village, Maryland
20886-1279

Designed BJD
Date 7/6/06
Job No. 89-142-76
Scale 1"=30'

FOREST CONSERVATION PLAN CERTIFICATION
I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS CORRECT AND THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF EXISTING CITY AND STATE FOREST CONSERVATION LEGISLATION.
DATE July 6, 2006
BY: George S. Haskins
REGISTERED LANDSCAPE ARCHITECT
MARYLAND REG. NO. 3263

Call "Miss Utility" at 1-800-257-7777,
48 hours prior to the start of work.
The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

JOINT EXHIBIT #11
SDP-06-002

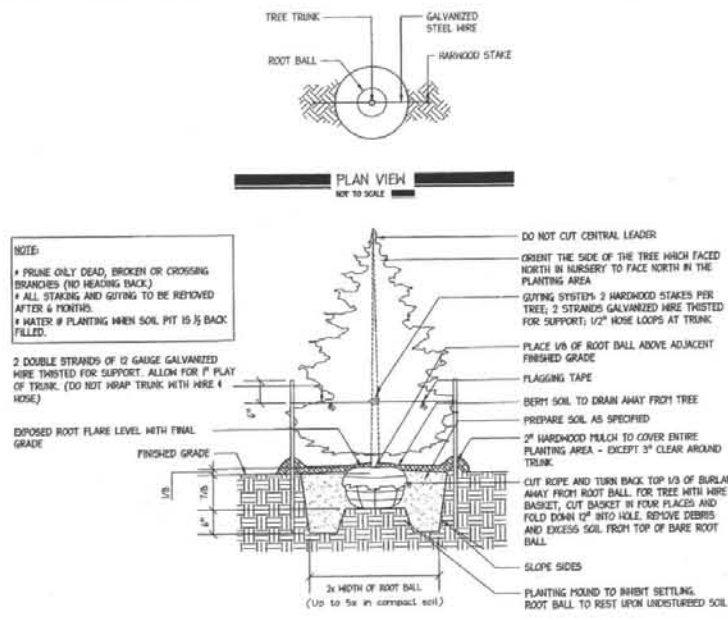


- NOTES:
1. Forest protection device only.
 2. Retention Area will be set as part of the review process.
 3. Boundaries of retention Area should be staked and flagged prior to installing device.
 4. Root damage should be avoided.
 5. Protective signage is required.
 6. Device should be maintained throughout construction.

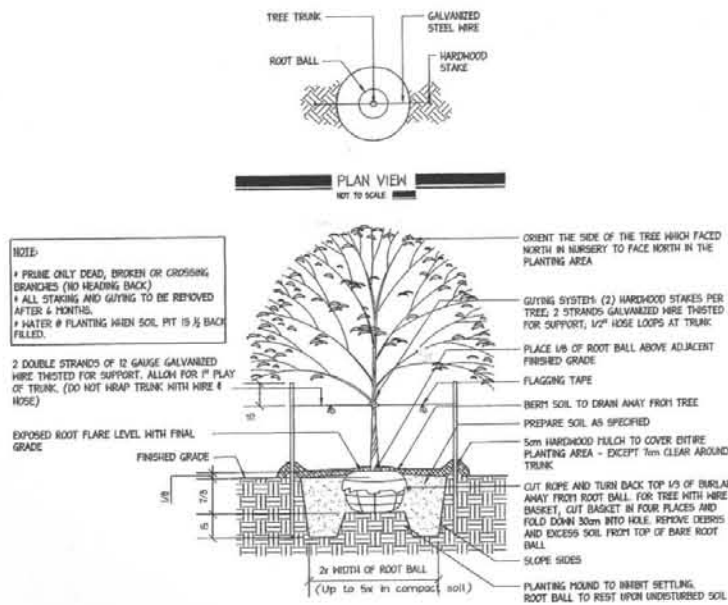
TREE PROTECTION FENCE

SEQUENCE OF CONSTRUCTION

1. Schedule a pre-construction meeting with the Developer's representative, Construction Superintendent, tree professional, City of Gaithersburg staff, and sediment control inspector. Call at least 48 hours prior to beginning construction. Contact Miss Utility at 1-800-257-7777 for water and sewer locations at 301-309-3093, 48 hours prior to any land disturbance.
2. Install sediment control devices. Install Tree Protection Fencing.
3. Clear, grub, and begin excavating and grading.
4. Begin building construction.
5. Begin storm drain construction.
6. Begin water & sewer and other utility construction.
7. Begin stormwater management facility construction.
8. Begin curb & gutter and paving.
9. As various areas are completed, place topsoil and sod/seed on grassed areas in conformance with these plans and the "Standard Erosion and Sediment Control Notes."
10. Schedule a pre-planting meeting with City staff.
11. Upon completion and site stabilization, and with the approval of the sediment control inspector, all sediment control structures shall be removed.
12. Upon completion of planting, conduct final inspection with City staff.
13. Remove tree protection fence.



EVERGREEN TREE PLANTING - UNDER 3" CALIPER



DECIDUOUS TREE PLANTING - UNDER 3" CALIPER

PLANTING NOTES

Description: Planting shall consist of furnishing and installing plant material as shown on the plans. Care and replacement necessary to complete the work as specified shall be provided.

The Landscape Plan is to be used for planting purposes only.

- General Notes:
1. Individual homeowners must be notified at least one week prior to installation of plants on lots that have an occupied dwelling. Unless otherwise stipulated, plant installation shall comply with the standards in the latest edition of "Landscape Specifications Guidelines," developed by the MD-DC-VA chapter of the Landscape Contractors Association.
 2. All trees are to be located a minimum distance of 5' from all utility boxes, 5' from a storm drain inlet or manhole, 10' from a fire hydrant, 15' from any public street light, 5' from any driveway aprons, 20' from any traffic control sign, and at least 30' from any intersection.
 3. Locations of street trees may be subject to change in order to avoid conflict with street lighting.
 4. Any planting within a forest retention area, as designated on the forest conservation plan and shown on this plan, must be done to avoid any adverse impact on the roots of existing trees.
 5. Plant type, size, and quantity substitutions are permitted only with verbal or written approval from the Planning and Code Administration.
 6. All plant material will be inspected for survival by the Planning and Code Administration one year following installation. A 10 percent maintenance bond will be retained during this time period.
 7. All plants must meet the standards of the latest edition of American Standard for Nursery Stock sponsored by the American Association of Nurserymen.
 8. No plant shall be located in areas of obvious poor drainage. If such conditions exist, contact the landscape architect immediately to relocate affected plant materials.
 9. Soil conditions must be tested, verified and adjusted by the landscape contractor to insure that appropriate soil composition and pH levels are suitable for plant materials specified for that specific location.

- Plant Material:
1. The installer shall make arrangements to insure a supply of the required material. This shall be done six (6) months prior to planting time during the construction project.
 2. Plant materials must be selected from nurseries that have been inspected by appropriate state and federal agencies.
 3. All plant material shall be obtained from mid-Atlantic area sources, and approved by the owner or duly appointed representative prior to planting.
 4. Plant material shall be provided with plant identification tags listing the botanical and common names. The tags shall not be removed until after final certification by the landscape architect.

- B. Planting
1. Planting will be installed no later than (1) year after completion of the construction project.
 2. Root stock of the plant material shall be kept moist during transportation from the source to the job site and until planted. Plant materials left unplanted shall be protected from direct sun and weather and kept moist.
 3. Containers or wire baskets containing the root ball shall be removed; burlap covering shall be removed from the top 1/3 of the root ball.
 4. Plants shall be installed only between the months of January and May or between September and December when the ground is not frozen. Plants shall be guaranteed for a two-year period from the time of installation. Any replacements must be installed as above.
 5. All areas are to be seeded or sodded as shown on drawing. Install seed and sod per the Landscape Contractors Association's latest edition of "Landscape Specifications Guidelines."
 6. The installer shall adequately water all plants promptly following installation to insure plant growth.
 7. Watering of the plant material shall take place at the end of each fifth day through September 1, if the soil is not moist.
 8. Contractor shall be responsible for making himself familiar with all the existing on-site conditions prior to submission of bid. The contractor is responsible for the location of all underground utilities, pipes, and structures. Contractor shall take sole responsibility for any cost incurred due to damage of said utilities. Call Miss Utility, 48 hours prior to digging (1-800-257-7777).
 9. All plants shall be placed so as not to obstruct drainage.
 10. All newly planted trees shall be pruned as necessary to remove dead branches or to create uniform shape. Do not prune leader.
 11. Where field conditions exist which would adversely affect plant performance, or interfere with proper planting procedures, the contractor shall notify the Owner prior to installation of plant material.
 12. All mulch to be shredded hardwood bark to a depth of three inches in landscape areas.
 13. Contractor to confirm quantity of plant materials by plant count. Notify landscape architect of any discrepancy prior to planting.

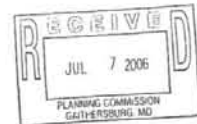
- C. Clean Up
1. Final Clean up shall be the responsibility of the installer and consist of removing all trash and materials incidental to the project and properly disposing of them off site. In addition the construction procedure shall not damage any areas of existing plants which are to remain.
 2. There shall be no open burning on-site.
 3. The contractor shall replace or repair at no cost to the owner, all site areas or surrounding items damaged by work of his contracts.
 4. During landscape work, store materials and equipment where directed. Keep pavement clean and work areas in an orderly condition.

FOREST CONSERVATION PLANTING NOTES

- Pre-construction:
1. Clearing limits shall be rough staked by developer in order to facilitate location for trenching and fencing installation.
 2. An on-site pre-construction meeting shall be required after the limits of disturbance have been staked and flagged, but before any clearing or grading begins. The owner shall contact the City of Gaithersburg 48 hours prior to commencing construction for a pre-planting meeting. The attendees at this meeting should include construction supervisors, equipment operators, developer's representative, tree professional, City of Gaithersburg Staff, and site and sediment control inspectors. No clearing or grading shall begin in areas where tree treatment and preservation measures have not been completed, unless otherwise permitted by the city. The sequence of tree treatment and conservation measures shall be:
- A. Root pruning
 - B. Tree protection fencing
 - C. Aeration system installation
 - D. Sign installation
 - E. Tree pruning and chemical treatment
 - F. Mulch treatment
4. The above measures shall be directed in the field by the project forester, arborist, naturalist, ecologist, site engineer or landscape architect.
 5. Tree protection fencing shall be maintained and repaired by the developer or contractor for the duration of construction and once approved by the city site inspector, must not be altered without prior approval by the City site inspector.
 6. Access to fenced areas will only be permitted with the prior approval of the owner's representative and the City site inspector.
 7. Designated aeration zones shall be protected with temporary fencing until final grading.
 8. Any excavation or grading required within the fenced areas shall be done as directed and approved by the person mentioned in note #4 above, and the City site inspector.
 9. Trees, shrubs, or undergrowth shall be removed from the protected root zone only when necessary and shall be removed by hand.
 10. Attachment of signage, fencing, etc., to trees to be saved is prohibited.
 11. No sod or seed shall be planted within the designated root zones for all trees to be saved.
 12. All stress-reduction measures must be performed by a State of Maryland licensed tree expert or International Society of Arboriculture certified arborist. Documentation of stress reduction must be sent to the City of Gaithersburg.
 13. Temporary tree protection devices shall be installed per the Forest Conservation Plan and prior to any construction activities. Tree protection fencing locations shall be staked in the field prior to the pre construction meeting, or if installed, be prepared to make field adjustments as determined by the city. Temporary tree protection devices may include:
- A. Chain link fence (four feet high)
 - B. Orange plastic mesh fence (four feet high)
 - C. Barbed wire
 - D. Protective signage
14. Tree protection devices to be coordinated with erosion and sediment control devices as indicated on the approved SESC plan.
 15. No equipment, trucks, materials, or debris may be stored within the tree protection fence areas during the entire construction project.
 16. Forest Retention Area signs shall be installed as required by Inspector. Tree stakes shall be installed along the Afforestation/Reforestation project perimeter at 25 foot intervals. They shall be 2"x 2"x 3', and driven plumb 1' below grade.
 17. Long-term protection devices (see Forest Conservation Plan) may include:
- A. Root aeration systems
 - B. Retaining walls
 - C. Raised sidewalks
 - D. Tunneling of utilities
 - E. Piers and party walls
 - F. Porous pavers
18. Long-term protection devices will be installed per the Forest Conservation Plan and attached details. Installation will occur at the appropriate time during the construction project.
 19. Periodic inspections by the city will occur during the construction project. Corrections and repairs to all tree protection devices, as determined by the inspector, must be made in a timely fashion.
 19. After construction is completed, an inspection shall be requested. Corrective measures which may be required include:
- A. Removal and replacement of dead or dying trees
 - B. Pruning of dead or declining limbs
 - C. Soil aeration
 - D. Fertilization
 - E. Watering
 - F. Wound repair
 - G. Cleanup of retention areas
20. Up to one-half of financial security to be released if stock is properly planted and in good condition.
 21. After inspection and completion of corrective measures have been undertaken, all temporary protection devices and debris shall be removed from the site. No additional grading, sodding, or burial of debris may take place.

- Planting:
1. Contractor to mow afforestation area and remove all invasive plants (Kalmuckia rose, mulberry trees) and apply herbicide to eliminate competition of weed seed prior to planting.
 2. All plant material shall be approved by the Owner or duly appointed representative prior to planting. If plant material is not available substitutions may be made with prior approval from the developer and the city.
 3. Size and standards of plant materials shall conform to latest edition of "USA Standards for Nursery Stock," by the American Association of Nurserymen, Inc. (AAN).
 4. All plants shall be placed so as not to obstruct drainage.
 5. Plants shall be installed randomly in a triangular or staggered pattern (not in a straight line). B&B stake shall be spaced minimum 8-12 feet on center.
 6. Slow release fertilizer (osmocote 10-10-5) shall be applied at the time of planting at the rate of 600 lbs. per acre.
 7. Where field conditions exist which would adversely affect plant performance, or interfere with proper planting procedures, the contractor shall notify the Owner prior to installation of plant material.
 8. All trees are to be located a minimum distance of 5' from all utility boxes, 5' from a storm drain inlet or manhole, 10' from a fire hydrant, 15' from any public street light, and 5' from any driveway aprons.
 9. Remove litter and debris as required during the first growing season and at the beginning of the second growing season.
 10. Plants shall be installed only between the months of January and May and between September and December when the ground is not frozen. Plants shall be guaranteed for one-year period from the time of installation. Any replacement must be installed as above.
 11. All disturbed areas within Forest Conservation easements are to be seeded with Southern Tier Consulting, Inc. (716-568-3120), Native/Naturalized Wildflower Seed Mix (Northeast) at a rate of 23 pounds per acre.

- Maintenance:
1. The plant material shall be maintained by the owner/developer for two (2) years after the completion. Maintenance shall consist of:
- A. Remove and replace all dead or diseased vegetation.
 - B. Remove all invasive non-native plants.
 - C. Necessary watering, fertilization, or pest control.
 - D. Shall not be mowed unless directed by the City of Gaithersburg.
2. Maintenance of the afforestation/reforestation area for a period of two years is required. During this maintenance period the health and vigor of the plantings shall be monitored and may include the need to specify actions to correct existing problems. The following inspection schedule shall be carried out:
- Year 1 and 2: Two inspections per year: inspect in the beginning of the growing season (May or June), and inspect at the end of the growing season (September or October).
 - At the end of the second year the survival rate of all the afforestation/reforestation areas shall be a minimum of 75% of the total trees planted, additional plant material may be needed to bring the total count up to the 75%.
3. The contractor shall provide a two-year warranty on all plants. The two-year warranty period shall run concurrent with the two-year maintenance period required by the City of Gaithersburg.
 4. At the end of the maintenance period a final inspection shall be set up at the site with the Owner or owner's representative and a staff member from the city to insure that the required afforestation/reforestation survival rate has been achieved.



CITY OF GAITHERSBURG
31 SOUTH SUMMIT AVENUE
GAITHERSBURG, MARYLAND 20877

FCP APPROVAL
THE CITY OF GAITHERSBURG DEVELOPMENT
REVIEW TEAM HEREBY GRANTS APPROVAL
OF FOREST CONSERVATION PLAN FOR
APPLICATION NO. CSP-
DATE _____ BY _____

TAX MAP FS 123

FOREST CONSERVATION PLAN
LOT 6

QUINCE ORCHARD CRESCENTS
CITY OF GAITHERSBURG
9TH ELECTION DISTRICT - MONTGOMERY COUNTY - MARYLAND

NO.	DATE	DESCRIPTION	BY



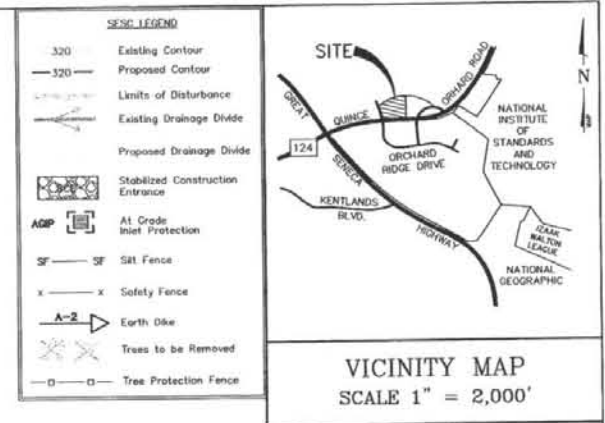
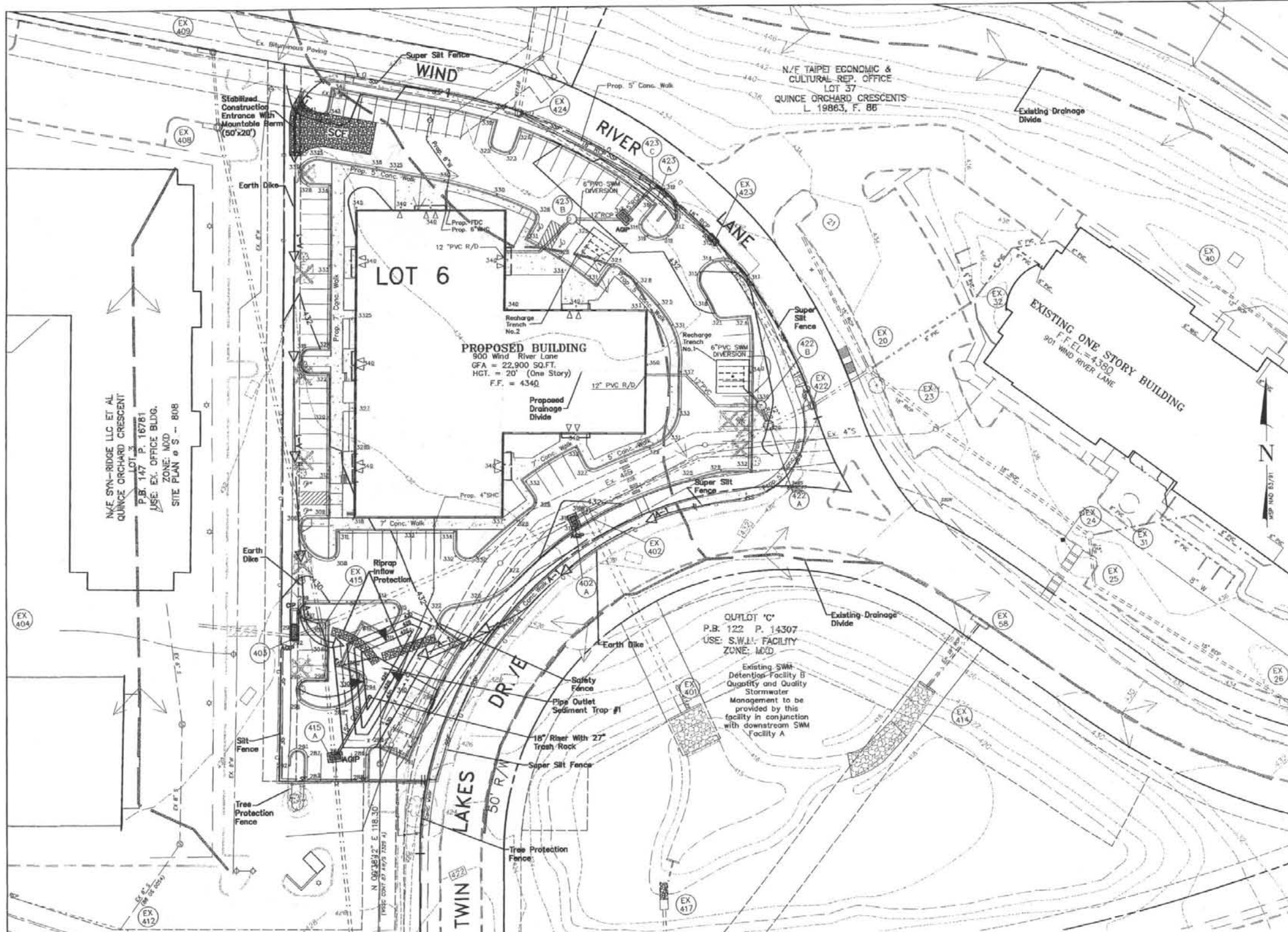
Macris, Hendricks & Glascock, P.A.
Engineers • Planners
Landscape Architects • Surveyors

Phone 301.670.0840
Fax 301.948.0693
www.mhga.com

Proj. Mgr. BJD	Designer GSH
Date 7/6/06	Scale AS NOTED
Project No. 89-142-78	Sheet 2 of 2

C-6

22 NW 11



OWNER'S/DEVELOPER'S CERTIFICATION

"I/We hereby certify that all clearing, grading, construction, and/or development will be done pursuant to this plan and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Natural Resources approved training program for the control of sediment and erosion before beginning the project."

Richard J. Demmitt 8-3-05
 Owner/Developer Signature Date
 WYNN RIVER LLC, Richard J. Demmitt, MEMBER
 Printed Name and Title

MAINTENANCE CERTIFICATION ON PRIVATE LANDS

"I/We hereby certify that I/we assume maintenance responsibilities for all stormwater management structures shown hereon. If maintenance responsibility is legally transferred, I/we agree to supply the City of Gaithersburg with a copy of the document (signed by both parties) transferring said maintenance responsibility at that time."

Richard J. Demmitt 8-3-05
 Owner/Developer Signature Date
 WYNN RIVER LLC, Richard J. Demmitt, MEMBER
 Printed Name and Title

CERTIFICATION OF THE QUANTITIES

"I hereby certify that the estimated total amount of excavation and fill as shown on these plans has been computed to be 2,338 cubic yards of excavation, 1,324 cubic yards of fill and the total area to be disturbed as shown on these plans has been determined to be 91,500 square feet."

James C. Glascock 11/3/06
 Signature Date
 James C. Glascock, P.E. # 11968
 Printed Name and Title Registration Number

DESIGN CERTIFICATION

"I hereby certify that this plan has been prepared in accordance with the '1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control', Montgomery Soil Conservation District 'On-Site Stormwater Management Policy' dated January 9, 1976 and City of Gaithersburg 'City Code, Chapter 8, dated April 7, 1983, the Montgomery County Department of Transportation 'Interim Storm Drain Design Criteria' dated July 1, 1988 and the NRCS 'Pond Standard - Code 37B' dated January 2000."

James C. Glascock 11/3/06
 Design Engineer Signature Date
 James C. Glascock, P.E. # 11968
 Printed Name and Title Registration Number

FENCE NOTE

THE TEMPORARY FENCE AROUND THE SEDIMENT TRAPS SHALL BE PERMANENT OR SEMIPERMANENT PORTABLE FENCE NOT LESS THAN 42" IN HEIGHT, WITH OPENINGS NO GREATER THAN 2" IN WIDTH AND 4" IN HEIGHT. THIS FENCE SHALL BE FIRMLY ANCHORED WITH POSTS SPACED NO FARTHER APART THAN 6'. IT SHALL BE CONSTRUCTED WITH A MINIMUM 14 GAUGE WELDED WIRE.

NOTE: ALL DISTURBED AREAS MUST BE TOPSOILED PER THE "STANDARDS AND SPECIFICATIONS FOR TOPSOIL"

Call "Miss Utility" at 1-800-257-7777, 48 hours prior to the start of work.

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

Pipe Outlet Sediment Trap #1

Type of Trap	= ST-1
Existing Drainage Area	= 1.30 AC.
Proposed Drainage Area	= 1.10 AC.
Storage Required	= 4,680 CF/173 CY
Storage Provided	= 4,754 CF/176 CY
Size @ Storage Elev.	= IRREGULAR
Size @ Bottom Elev.	= IRREGULAR
Depth	= 4.0'
Riser Crest Elev.	= 430.00'
Wet Storage Elev.	= 428.50'
Cleanout Elev.	= 427.50'
Bottom Elev.	= 426.00'
Embankment Height	= 1'
Side Slopes	= 2:1 H:V
Riser Dia.	= 18"
Barrel Dia.	= 15"
Trash Rock Dia.	= 27"

APPLICANT
 Highland Development Corp.
 Post Office Box 228
 Clarksburg, Maryland 21029
 (410) 531-5539

ARCHITECT
 See Lin & Associates
 4340 East West Highway, Suite 105
 Bethesda, Maryland 20814
 (301) 986-9300

A MARYLAND REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT SEAL AND SIGNATURE ON PLANS WILL BE ACCEPTED AS PRIMA FACIE EVIDENCE THAT PLANS ARE IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS.

CITY OF GAITHERSBURG
 DEPARTMENT OF PUBLIC WORKS
 PARKS MAINTENANCE AND ENGINEERING

FINAL APPROVAL

Stormwater Management Sediment Control
 DATE 11/8/06 DATE 11/8/06
 BY *James D. Ammitt* BY *James D. Ammitt*
 This approval will expire two years from date of approval.

NO.	DATE	DESCRIPTION	BY

SDP-06-002 RECEIVED JUL 7 2006 C-7

THIS PLAN IS FOR SOIL EROSION, SEDIMENT CONTROL & SWM ONLY
 TAX MAP FS123 WSSC 222NW11

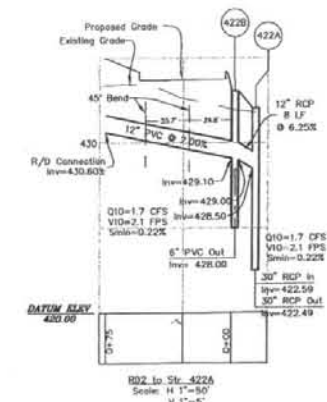
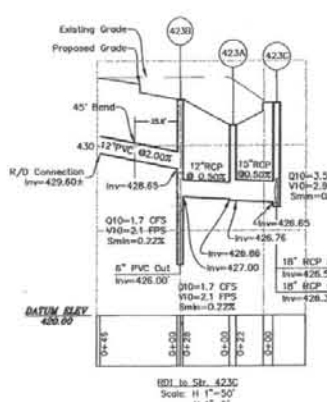
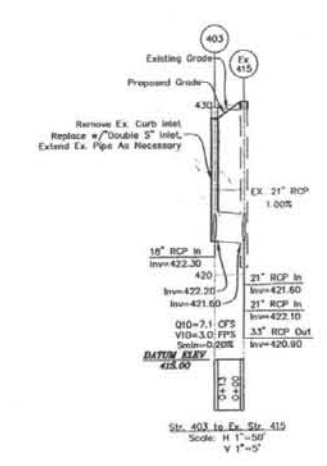
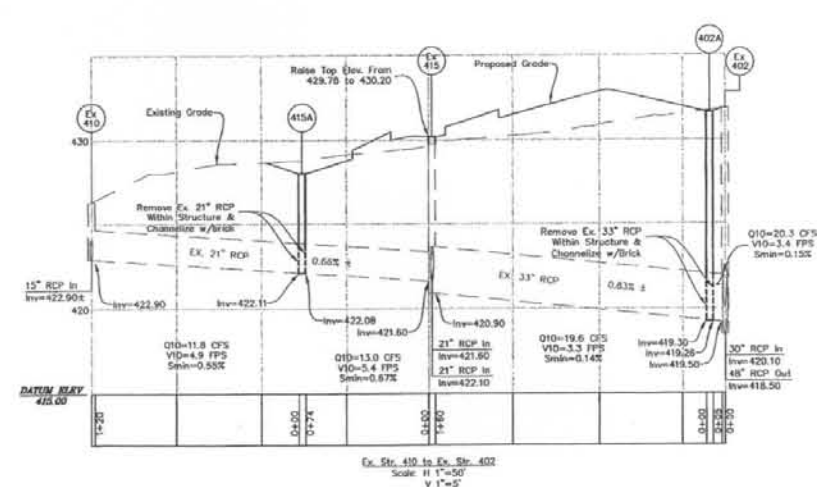
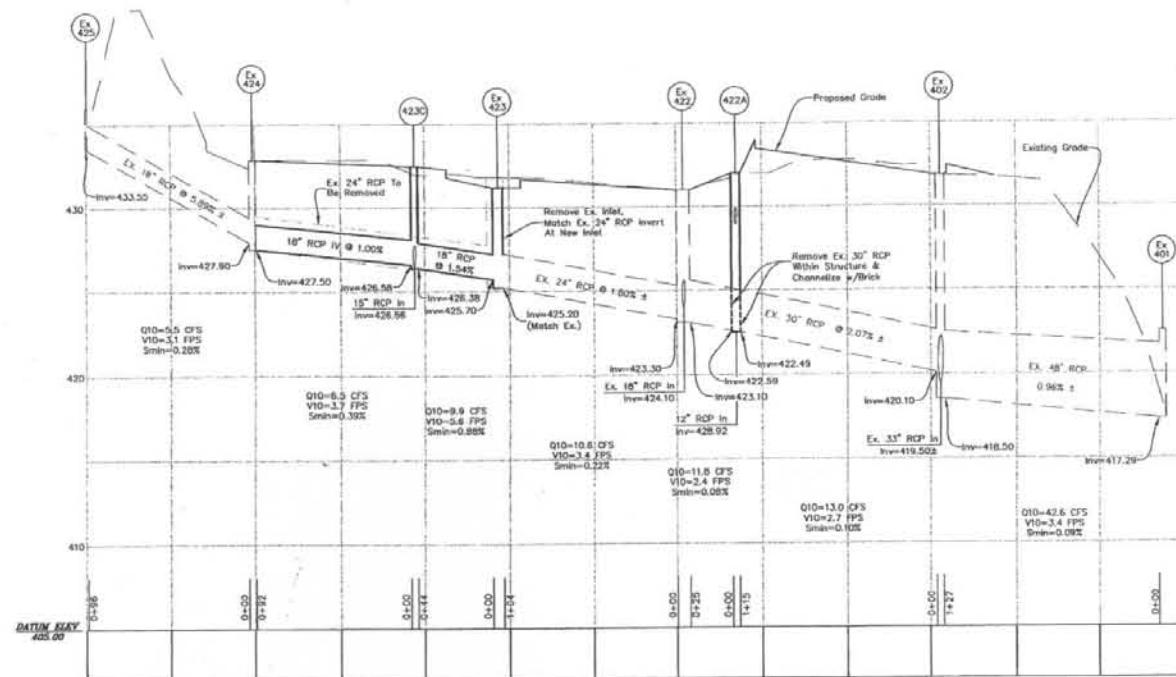
SOIL EROSION, SEDIMENT CONTROL AND SWM PLAN
 LOT 6
QUINCE ORCHARD CRESCENTS
 P.B. 159 P. 18016 & 18022
 9TH ELECTION DISTRICT - CITY OF GAITHERSBURG - MARYLAND

MHG Macris, Hendricks & Glascock, P.A.
 Engineers • Planners
 Landscape Architects • Surveyors

9220 Wightman Road, Suite 120
 Montgomery Village, Maryland 20886-1279
 Phone 301.670.0840
 Fax 301.948.0693
 www.mhgas.com

Proj. Mgr. B.J.D.	Designer K.D.J.
Date 1/13/06	Scale 1"=30'
Project No. 89.142.75	Sheet 1

JOINT EXHIBIT #12
 SDP-06-002



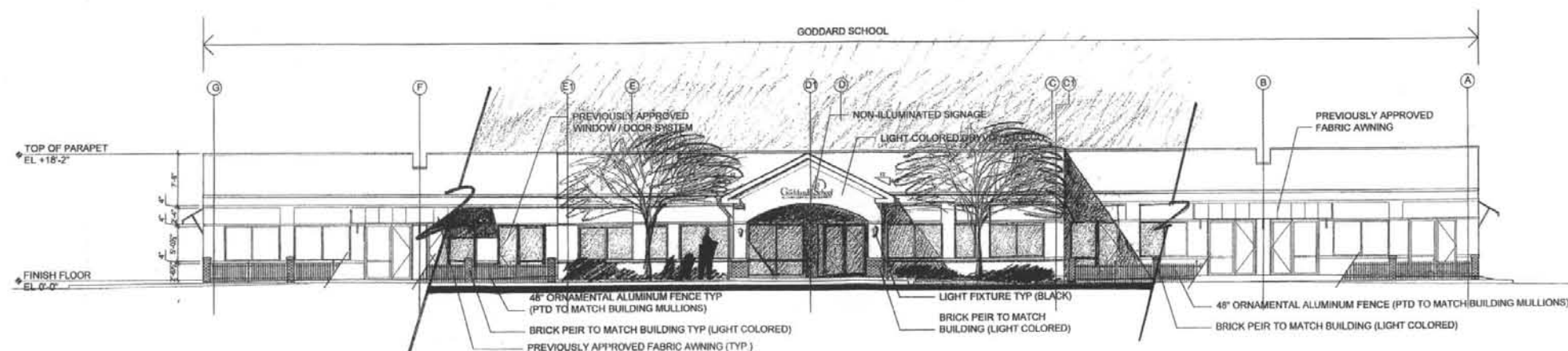
JOINT
EXHIBIT
#13
SDP-06-002



1 SOUTH ELEVATION
Scale: 1/8" = 1'-0"



1 NORTH ELEVATION
Scale: 1/8" = 1'-0"



1 EAST ELEVATION
Scale: 1/8" = 1'-0"

**SOE
LIN**

Architecture, Interiors,
Planning
4340 East West Highway
Suite 105
Bethesda, Maryland
20814 USA
301.986-9300
Fax: 986-0500

Notes Consultants

Drawn By ALB
Chk'd By MG
Job No.
Project

Goddard School
FOR EARLY CHILDHOOD DEVELOPMENT
900 WIND RIVER LANE
GAITHERSBURG, MD

EE COMMERCIAL REAL ESTATE

Drawing Title

ELEVATIONS

Date	Issue
06-06-06	phase
JULY 6, 2006	

Sheet No

A-3



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JOINT
EXHIBIT
#14
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